

Licensing Sub-Committee

Thursday 10 October 2019

10.00 am

Room G06 - 160 Tooley Street, London SE1 2QH

Membership

Councillor Renata Hamvas (Chair)
Councillor Sirajul Islam
Councillor Ian Wingfield

Reserves

Councillor Lorraine Lauder MBE

INFORMATION FOR MEMBERS OF THE PUBLIC

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Contact

Andrew Weir on 020 7525 7222 or email: andrew.weir@southwark.gov.uk

Members of the committee are summoned to attend this meeting

Eleanor Kelly

Chief Executive

Date: 1 October 2019



Licensing Sub-Committee

Thursday 10 October 2019
10.00 am
Room G06 - 160 Tooley Street, London SE1 2QH

Order of Business

Item No.	Title	Page No.
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PART A - OPEN BUSINESS

1. APOLOGIES

To receive any apologies for absence.

2. CONFIRMATION OF VOTING MEMBERS

A representative of each political group will confirm the voting members of the committee.

3. NOTIFICATION OF ANY ITEMS OF BUSINESS WHICH THE CHAIR DEEMS URGENT

In special circumstances, an item of business may be added to an agenda within five clear days of the meeting.

4. DISCLOSURE OF INTERESTS AND DISPENSATIONS

Members to declare any interests and dispensation in respect of any item of business to be considered at this meeting.

5. LICENSING ACT 2003: 10 UNION STREET, 10-18 UNION STREET, LONDON SE1 1SZ	1 - 73
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6. LICENSING ACT 2003: THE BRUNEL, 47 SWAN ROAD, LONDON SE16 4JN	74 - 125
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ANY OTHER OPEN BUSINESS AS NOTIFIED AT THE START OF THE MEETING AND ACCEPTED BY THE CHAIR AS URGENT.

PART B - CLOSED BUSINESS**EXCLUSION OF PRESS AND PUBLIC**

The following motion should be moved, seconded and approved if the sub-committee wishes to exclude the press and public to deal with reports revealing exempt information:

“That the public be excluded from the meeting for the following items of business on the grounds that they involve the likely disclosure of exempt information as defined in paragraphs 1-7, Access to Information Procedure rules of the Constitution.”

ANY OTHER CLOSED BUSINESS AS NOTIFIED AT THE START OF THE MEETING AND ACCEPTED BY THE CHAIR AS URGENT.

Date: 1 October 2019

Item No. 5.	Classification: Open	Date: 10 October 2019	Meeting Name: Licensing Sub-Committee
Report title:		Licensing Act 2003: 10 Union Street, 10-18 Union Street, London SE1 1SZ	
Ward(s) or groups affected:		Borough and Bankside	
From:		Strategic Director of Environment and Leisure	

RECOMMENDATION

1. That the licensing sub-committee considers an application made by the Royal College of Obstetricians and Gynaecologists (RCOG) for a premises licence to be granted under the Licensing Act 2003 in respect of 10 Union Street, 10-18 Union Street, London SE1 1SZ.
2. Notes:
 - a) This application forms a new application for a premises licence, submitted under Section 17 of the Licensing Act 2003. The application is subject to representations from responsible authorities and is therefore referred to the sub-committee for determination.
 - b) Paragraphs 8 to 11 of this report provide a summary of the application under consideration by the sub-committee. A copy of the full application is attached as Appendix A.
 - c) Paragraphs 12 to 20 of this report deals with the representations received to application and any conciliation progress made. Copies of the relevant representations from responsible authorities are attached as Appendix B.
 - d) Paragraph 22 deals with licensed premises within a 100 metre radius of the premises. A map of the area is attached as Appendix C.
 - e) A copy of the council's approved procedure for hearings of the sub-committee in relation to an application made under the Licensing Act 2003, along with a copy of the hearing regulations, has been circulated to all parties to the meeting.

BACKGROUND INFORMATION

The Licensing Act 2003

3. The Licensing Act 2003 provides a regime for:
 - The sale of and supply of alcohol
 - The provision of regulated entertainment
 - The provision of late night refreshment.
4. Within Southwark, the licensing responsibility is wholly administered by this council.

5. The Act requires the licensing authority to carry out its functions under the Act with a view to promoting the four stated licensing objectives. These are:
 - The prevention of crime and disorder
 - The promotion of public safety
 - The prevention of nuisance
 - The protection of children from harm.
6. In carrying out its licensing functions, a licensing authority must also have regard to:
 - The Act itself
 - The guidance to the act issued under Section 182 of the Act
 - Secondary regulations issued under the Act
 - The licensing authority's own statement of licensing policy
 - The application, including the operating schedule submitted as part of the application
 - Relevant representations.
7. The premises licence application process involves the provision of all relevant information required under the Act to the licensing authority with copies provided by the applicant to the relevant responsible bodies under the Act. The application must also be advertised at the premises and in the local press. The responsible authorities and other persons within the local community may make representations on any part of the application where relevant to the four licensing objectives.

KEY ISSUES FOR CONSIDERATION

The premises licence application

8. On 24 June 2019, RCOG applied to this council for the grant of a premises licence in respect of 10 Union Street, 10- 18 Union Street, London SE1 1SZ. The premises is described as providing contemporary new ways of working, supporting the RCOG staff as well as conferencing and facilities and café catering for staff and the public. However alcohol and food will only be supplied to RCOG members and to events that have been booked and paid in advance.
9. The application is summarised as follows:
 - Films (indoors):
 - Monday to Saturday: 09:00 to 01:30
 - Sunday: 11:00 to 00:30
 - Live music (indoors):
 - Monday to Saturday: 09:00 to 01:30
 - Sunday: 11:00 to 00:30
 - Recorded music (indoors):
 - Monday to Saturday: 09:00 to 01:30
 - Sunday: 11:00 to 00:30

- Performance of dance (indoors):
 - Monday to Saturday: 09:00 to 01:30
 - Sunday: 11:00 to 00:30
 - Anything of a similar description to live music, recorded music or the performance of dance (indoors):
 - Monday to Saturday: 09:00 to 01:30
 - Sunday: 11:00 to 00:30
 - Late night refreshment:
 - Monday to Saturday: 23:00 to 01:30
 - Sunday: 23:00 to 00:30
 - Supply of alcohol (on the premises):
 - Monday to Saturday: 11:00 to 01:30
 - Sunday: 11:00 to 00:30
 - Operating hours of premises:
 - Monday to Saturday: 08:00 to 01:30
 - Sunday: 11:00 to 00:30.
10. The premises licence application form provides the applicant operating schedule. Parts B, E, F,G, H, I, J, K, L, and M set out the proposed operating hours and operating controls in full, with reference to the four licensing objectives as stated in the Licensing Act 2003. Should a premises licence be issued in respect of the application the information provided in part M of the operating schedule will form the basis of conditions that will be attached to the licence. A copy of the application is attached to this report as Appendix A.

Designated premises supervisor

11. The proposed designated premises supervisor is Pawel Jerzy Zwiernik-Bogacki who has a personal licence issued by Three Rivers District Council.

Representations from responsible authorities

12. Representations were submitted by the Metropolitan Police Service, environmental protection team (EPT) and licensing (as a responsible authority).
13. The police are concerned that the premises are situated within the Borough and Bankside cumulative impact zone and a designated District town centre as specified within the Southwark Statement of licensing policy. The hours applied for are inside that recommended in the policy for members clubs, which is the closest to what the application describes.
14. The application also allows for third party hiring which would take it away from alcohol only being served to RCOG members. No accommodation limit has been supplied for these events or details of type of events so they are unable to assess the cumulative impact on the area. There are a number of residential properties in

the area and the building has a playground opposite. They object to the granting of the licence in the current format and would like to see the SIA security, dispersal policy and drinking time addressed. They have suggested additional conditions to the applicant for their approval.

15. The EPT have concerns relating to live music, DJs and dance performances being requested to 01:30 in the morning every day of the week apart from Sunday which is still 00:30. There are residential properties nearby on Union Street which could be disturbed from music entertainment noise but also from the dispersal of persons late at night. They look forward to review further information addressing the above.
16. The Licensing representation notes that this premise is situated within the Bankside, Borough, London Bridge strategic cultural area and London Bridge district town centre area and under the Southwark statement of licensing policy 2019 – 2021 the appropriate closing times in the area for public houses, wine bars or other drinking establishments on Sunday to Thursday is 23:00 and for Friday and Saturday is 00:00.
17. The premises also falls within the cumulative impact policy area for Borough and Bankside. Under the Southwark statement of licensing policy 2019 - 2021 the local cumulative impact policy area applies to night clubs, public houses and bars, restaurants and cafes, off-licences, supermarkets, convenience stores and similar premises. The applicant has not addressed the presumption to refuse this application within the operating schedule and licensing would recommend refusal of this application unless the applicant can demonstrate that the premises will not contributing to crime and disorder and public nuisance within the policy area.
18. The opening hours asked for within the application exceed those which are appropriate in the licensing policy for this area. To promote the licensing objectives they ask the applicant to consider amending the operating schedule to bring the closing hours in line with the hours recommended as appropriate within the policy and in turn the licensable activities. They also have submitted conditions to the applicant for approval.
19. Copies of the representations are attached as Appendix B.

Representation from other persons

20. There are no representations from any other persons.

Conciliation

21. The representations received were forwarded to the applicant representative. Conciliation information submitted to the responsible authorities for consideration are attached as Appendix C. The licensing sub-committee will be updated on 10 October 2019.

The local area

22. A map of the area is attached to this report as Appendix D. The premises is identified by a triangle at the centre of the map. The following licensed premises and terminal hours are also shown on the map.

Public houses/restaurants

- The Arches, 6 O'Meara Street, London SE1 (Monday to Sunday until 06:30)
- Crown & Greyhound, 65-67 Union Street, London SE1 (Monday to Thursday until 23:00, Friday and Saturday until 00:00 and Sunday until 22:30)
- Tas Restaurant, 72 -74 Borough High Street, London SE1 (Monday to Sunday 01:00)
- Truly Indian, 64 Borough High Street, London SE1 (Monday to Saturday until 00:00 and Sunday until 22:00)
- The Boot Flogger, 10 - 20 Redcross Way, London SE1 (Monday to Saturday until 23:00 and Sunday until 22:30)

Off licence

- Sainsbury's local, 116-126 Borough High Street, London SE1 (24 hours) (Monday to Sun until 00:00 for alcohol)
- Union Newsagent, 77-79 Union Street, London SE1 (Monday to Saturday until 23:00 and Sun until 22:30)
- Jazz Convenience Stores, 69-71 Union Street, London SE1 (Monday to Saturday until 23:00 and Sunday until 22:30)

Deregulation of entertainment

23. On 6 April 2015 entertainment became deregulated and as a result:

- Live unamplified music is deregulated between 08:00 and 23:00 on any premises.
- Live amplified music and recorded music are deregulated between 08:00 and 23:00 at on licensed premises for an audience of up to 500 people.
- Plays and the performance of dance are deregulated between 08:00 and 23:00 for an audience of up to 500 people.
- Indoor sporting events are deregulated between 08:00 and 23:00 for an audience of up to 1000 people.

24. Live music and recorded music can become licensable in on-licensed premises if the licensing authority removes the effect of deregulation following a licence review ('licence review mechanism').

25. The showing of films has not been de-regulated.

Borough and Bankside cumulative impact area

26. Council assembly approved the introduction of a special policy for Borough and Bankside on the cumulative impact of a concentration of licensed premises

(saturation/cumulative impact policy) on 5 November 2008, and extended the area in April 2011. This application falls within the policy area.

27. The decision to introduce saturation policy was taken with regard to the committee's concern over rising trends of late night alcohol related violence against the person and late night disorder and rowdiness associated with late night licensed premises in the area.
28. The effect of this special policy is to create a presumption that applications for new premises licenses or variations that are likely to add to the existing cumulative impact will normally be refused, following relevant representations, unless the applicant can demonstrate in their operating schedule that there will be no negative cumulative impact on one or more of the licensing objectives.
29. The applicant has been advised to address the committee's concerns around cumulative impact at the meeting.

Southwark statement of licensing policy

30. Council assembly approved Southwark's statement of licensing policy 2019 - 2021 on 27 March 2019. The policy came into effect on 28 March 2019. Sections of the statement that are considered to be of particular relevance to the sub-committee's consideration are:
 - Section 3 - Purpose and scope of the policy. This reinforces the four licensing objectives and the fundamental principles upon which this Authority relies in determining licence applications
 - Section 5 – Determining applications for premises licences and club premises certificates. This explains how the policy works and considers issues such as location; high standards of management; and the principles behind condition setting.
 - Section 6 – Local cumulative impact policies. This sets out this Authority's approach to cumulative impact and defines the boundaries of the current special policy areas and the classifications of premises to which they apply. To be read in conjunction with Appendix B to the policy
 - Section 7 – Hours of operation. This provides a guide to the hours of licensed operation that this Authority might consider appropriate by type of premises and (planning) area classification.
 - Section 8 – The prevention of crime and disorder. This provides general guidance on the promotion of the first licensing objective
 - Section 9 – Public safety. This provides general guidance on the promotion of the second licensing objective
 - Section 10 – The prevention of nuisance. This provides general guidance on the promotion of the third licensing objective
 - Section 11 – The protection of children from harm. This provides general guidance on the promotion of the fourth licensing objective.

31. The purpose of Southwark's statement of licensing policy is to make clear to applicants what considerations will be taken into account when determining applications and should act as a guide to the sub-committee when considering the applications. However, the sub-committee must always consider each application on its own merits and allow exceptions to the normal policy where these are justified by the circumstances of the application.
32. Within the Southwark statement of licensing policy 2019 - 2021 the following closing times are recommended as appropriate within this area for this categories of premises as follows:
 - Restaurants and cafes:
 - Sunday to Thursday is 00:00
 - Friday and Saturday is 01:00
 - Public bars, wine bars and other drinking establishments:
 - Sunday to Thursday is 23:00
 - Friday and Saturday is 00:00 hours
 - There are no restriction times for hotel bars and guest houses.

Resource implications

33. A fee of £635.00 has been paid by the applicant company in respect of this application being the statutory fee payable for premises within non-domestic rateable value band A.

Consultation

34. Consultation has been carried out on this application in accordance with the provisions of the Licensing Act 2003. A public notice was published in a local newspaper and a similar notice exhibited outside of the premises for a period of 28 consecutive days.

Community impact statement

35. Each application is required by law to be considered upon its own individual merits with all relevant matters taken into account.

SUPPLEMENTARY ADVICE FROM OTHER OFFICERS

Director of Law and Democracy

36. The sub-committee is asked to determine the application for a premises licence under section 17 of the Licensing Act 2003.
37. The principles which sub-committee members must apply are set out below.

Principles for making the determination

38. The general principle is that applications for premises licence applications must be granted unless relevant representations are received. This is subject to the proviso

that the applicant has complied with regulations in advertising and submitting the application.

39. Relevant representations are those which:

- Are about the likely effect of the granting of the application on the promotion of the licensing objectives
- Are made by an interested party or responsible authority
- Have not been withdrawn
- Are not, in the opinion of the relevant licensing authority, frivolous or vexatious.

40. If relevant representations are received then the sub-committee must have regard to them, in determining whether it is necessary for the promotion of the licensing objectives to:

- To grant the licence subject to:
 - The conditions mentioned in section 18 (2)(a) modified to such extent as the licensing authority considers necessary for the promotion of the licensing objectives
 - Any condition which must under section 19, 20 or 21 be included in the licence
- To exclude from the scope of the licence any of the licensable activities to which the application relates
- To refuse to specify a person in the licence as the premises supervisor
- To reject the application.

Conditions

41. The sub-committee's discretion is thus limited. It can only modify the conditions put forward by the applicant, or refuse the application, if it is necessary to do so. Conditions must be necessary and proportionate for the promotion of one of the four licensing objectives, and not for any other reason. Conditions must also be within the control of the licensee, and should be worded in a way which is clear, certain, consistent and enforceable.

42. The four licensing objectives are:

- The prevention of crime and disorder
- Public safety
- The prevention of nuisance
- The protection of children from harm.

43. Members should note that each objective is of equal importance. There are no other licensing objectives, and the four objectives are paramount considerations at all times.

44. Conditions will not be necessary if they duplicate a statutory position. Conditions relating to night café and take away aspect of the license must relate to the night time operation of the premises and must not be used to impose conditions which could not be imposed on day time operators.

45. Members are also referred to the Home Office Revised Guidance issued under section 182 of the Licensing Act 2003 on conditions, specifically section 10.

Reasons

46. If the sub-committee determines that it is necessary to modify the conditions, or to refuse the application for a premises licence application, it must give reasons for its decision.

Hearing procedures

47. Subject to the licensing hearing regulations, the licensing committee may determine its own procedures. Key elements of the regulations are that:
- The hearing shall take the form of a discussion led by the authority. Cross examination shall not be permitted unless the authority considered that it is required for it to consider the representations.
 - Members of the authority are free to ask any question of any party or other person appearing at the hearing.
 - The committee must allow the parties an equal maximum period of time in which to exercise their rights to:
 - Address the authority
 - If given permission by the committee, question any other party.
 - In response to a point which the authority has given notice it will require clarification, give further information in support of their application.
 - The committee shall disregard any information given by a party which is not relevant to the particular application before the committee and the licensing objectives.
 - The hearing shall be in public, although the committee may exclude the public from all or part of a hearing where it considers that the public interest in doing so outweighs the public interest in the hearing, or that part of the hearing, taking place in private.
 - In considering any representations or notice made by a party the authority may take into account documentary or other information produced by a party in support of their application, representations or notice (as applicable) either before the hearing or, with the consent of all the other parties, at the hearing.
48. This matter relates to the determination of an application for a premises licence under section 17 of the Licensing Act 2003. Regulation 26(1) (a) requires the sub-committee to make its determination at the conclusion of the hearing.

Council's multiple roles and the role of the licensing sub-committee

49. Sub-committee members will note that, in relation to this application, the council has multiple roles. Council officers from various departments have been asked to consider the application from the perspective of the council as authority responsible respectively for environmental health, trading standards, health and safety and as the planning authority.

50. Members should note that the licensing sub-committee is meeting on this occasion solely to perform the role of licensing authority. The sub-committee sits in quasi-judicial capacity, and must act impartially. It must offer a fair and unbiased hearing of the application. In this case, members should disregard the council's broader policy objectives and role as statutory authority in other contexts. Members must direct themselves to making a determination solely based upon the licensing law, guidance and the council's statement of licensing policy.
51. As a quasi-judicial body the licensing sub-committee is required to consider the application on its merits. The sub-committee must take into account only relevant factors, and ignore irrelevant factors. The decision must be based on evidence, that is to say material, which tends logically to show the existence or non-existence of relevant facts, or the likelihood or unlikelihood of the occurrence of some future event, the occurrence of which would be relevant. The licensing sub-committee must give fair consideration to the contentions of all persons entitled to make representations to them.
52. The licensing sub-committee is entitled to consider events outside of the premises if they are relevant, i.e. are properly attributable to the premises being open. The proprietors do not have to be personally responsible for the incidents for the same to be relevant. However, if such events are not properly attributable to the premises being open, then the evidence is not relevant and should be excluded. Guidance is that the licensing authority will primarily focus on the direct impact of the activities taking place at the licensed premises on members of the public, living, working or engaged in normal activity in the area concerned.
53. Members will be aware of the council's code of conduct which requires them to declare personal and prejudicial interests. The code applies to members when considering licensing applications. In addition, as a quasi-judicial body, members are required to avoid both actual bias, and the appearance of bias.
54. The sub-committee can only consider matters within the application that have been raised through representations from other persons and responsible authorities. Interested parties must live in the vicinity of the premises. This will be decided on a case to case basis.
55. Under the Human Rights Act 1998, the sub-committee needs to consider the balance between the rights of the applicant and those making representations to the application when making their decision. The sub-committee has a duty under section 17 Crime and Disorder Act 1998 when making its decision to do all it can to prevent crime and disorder in the borough.
56. Other persons, responsible authorities and the applicant have the right to appeal the decision of the sub-committee to the magistrates' court within a period of 21 days beginning with the day on which the applicant was notified by the licensing authority of the decision to be appealed against.

Guidance

57. Members are required to have regard to the Home Office guidance in carrying out the functions of licensing authority. However, guidance does not cover every possible situation, so long as the guidance has been properly and carefully understood, members may depart from it if they have reason to do so. Full reasons must be given if this is the case.

Strategic Director of Finance and Governance

58. The head of regulatory services has confirmed that the costs of this process over and above the application fee are borne by the service.

BACKGROUND DOCUMENTS

Background Papers	Held At	Contact
Licensing Act 2003 Home Office Revised Guidance to the Act Secondary Regulations Southwark statement of licensing policy Case file	Southwark Licensing, C/O Community Safety and Enforcement, 160 Tooley Street, London, SE1 2QH	Mrs Kirty Read Tel: 020 7525 5748

APPENDICES

Name	Title
Appendix A	Application premises licence
Appendix B	Representation from responsible authorities
Appendix C	Conciliation information
Appendix D	Map of local area

AUDIT TRAIL

Lead Officer	Caroline Bruce, Strategic Director of Environment and Leisure		
Report Author	Dorcas Mills, Principal Licensing Officer		
Version	Final		
Dated	27 September 2019		
Key Decision?	No		
CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER			
Officer Title		Comments sought	Comments included
Director of Law and Democracy		Yes	Yes
Strategic Director of Finance and Governance		Yes	Yes
Cabinet Member		No	No
Date final report sent to Constitutional Team			27 September 2019

Business - Application for a premises licence to be granted under the Licensing Act 2003

24/06/2019

Business - Application for a premises licence to be granted under the Licensing Act 2003

Ref No. 1254848

Name of Applicant

Please enter the name(s) who is applying for a premises licence under section 17 of the Licensing Act 2003 and am making this application to you as the relevant licensing authority in accordance with section 12 of the Licensing Act 2003

	Royal College of Obstetricians and Gynaecologists
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Premises Details

Non-domestic rateable value of premises in order to see your rateable value click here (opens in new window)

£	1,160,000
	Band D and E only applies to premises which uses exclusively or primarily for the supply of alcohol for consumption on the premises
	No

Premises trading name

	10 Union Street
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Postal address of premises or, if none, ordnance survey map reference or description

Address Line 1	10-18 UNION STREET
Address Line 2	
Town	LONDON
County	
Post code	SE1 1SZ
Ordnance survey map reference	
Description of the location	
Telephone number	020 7772 6438

Applicant Details

Please select whether you are applying for a premises licence as

	a charity
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Business - Application for a premises licence to be granted under the Licensing Act 2003

Other Applicants

Personal Details - First Entry

Name	ROYAL COLLEGE OF OBSTETRICIANS AND GYNAECOLOGISTS
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Address - First Entry

Street number or building name	27
Street Description	Sussex Place
Town	Regent's Park
County	London
Post code	NW1 4RG
Registered number (where applicable)	213280
Description of applicant (for example, partnership, company, unincorporated association etc)	Charity

Contact Details - First Entry

Telephone number	(020) 7772 6438
Email address	

Operating Schedule

When do you want the premises licence to start?

	01/01/2020
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If you wish the licence to be valid only for a limited period, when do you want it to end?

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General description of premises (see guidance note 1)

	The building will provide contemporary office spaces supporting new ways of working for the RCOG's 200+ staff as well as conferencing facilities and café, catering for staff and the public The College aims to provide a fully accessible building with an emphasis on health and wellbeing and sustainable design. The two adjoining buildings provide a combined NET internal area of approximately 56000ft2/ 5200m2 on four floors and a part-basement. The site is abutted to full height by other buildings on the North and
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	East sides with party and/or boundary walls but is open to Union Street to the south and also to a private yard on the West. Until recently the site has been in B1 use as a training centre for Price Waterhouse Coopers who were the freehold owners until December 2017 when RCOG purchased the site. The North building is a converted hop warehouse which dates originally from 1853. The building was converted to office use in the 1970s and was internally refurbished around 2007. The South Building was purpose-built for offices in the 1980s. The two buildings are in effect independent, but connecting by a glazed roofed covered atrium.
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If 5,000 or more people are expected to attend the premises at any one time please use the drop down below to select the number.

	Less than 5000
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Operating Schedule part 2

What licensable activities do you intend to carry on from the premises?

	(Please see sections 1 and 14 of the Licensing Act 2003 and schedule 1 and 2 of the Licensing Act 2003)
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Provision of regulated entertainment (Please read guidance note 2)

	b) films
	e) live music
	f) recorded music
	g) performance of dance
	h) anything of a similar description to that falling within (e), (f) or (g)

Provision of late night refreshment

	i) Late night refreshment
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Supply of alcohol

	j) Supply of alcohol
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B- Films

Will the exhibition of films take place indoors or outdoors or both? (Please read guidance note 3)

	Indoors
--	---------

Business - Application for a premises licence to be granted under the Licensing Act 2003

Please give further details here (Please read guidance note 4)

	Event organisers and College functions may show short educational films.
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Standard days and timings for Films (Please read guidance note 7)

Day	Start	Finish
Mon	09:00	17:00
	17:00	01:30
Tues	09:00	17:00
	17:00	01:30
Wed	09:00	17:00
	17:00	01:30
Thur	09:00	17:00
	17:00	01:30
Fri	09:00	17:00
	17:00	01:30
Sat	09:00	17:00
	17:00	01:30
Sun	11:00	17:00
	17:00	00:30

State any seasonal variations for the exhibition of films (Please read guidance note 5)

	The request for short film events can take place anytime or day during the year and are restricted and contained to allocated areas of the building
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Non standard timings. Where you intend to use the premises for the exhibition of films at different times to those listed. (Please read guidance note 6)

	The request for short film events can take place anytime or day during the year and are restricted and contained to allocated areas of the building.
--	--

E - Live Music

Will the performance of live music take place indoors or outdoors or both? (Please read guidance note 3)

	Indoors
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Please give further details here (Please read guidance note 4)

	Live music may occasionally be requested by the client for their events e.g team building events, jazz trios/quartets for drinks reception and dinners. The equipment is provided by the organiser and The RCOG will always assess each event individually
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	before any approval is given. These events can be held anytime or day during the year and are restricted and contained to allocated areas of the building.
--	--

Standard days and timings for Live Music (Please read guidance note 7)

Day	Start	Finish
Mon	09:00	17:00
	17:00	01:30
Tues	09:00	17:00
	17:00	01:30
Wed	00:00	17:00
	17:00	01:30
Thur	09:00	17:00
	17:00	01:30
Fri	09:00	17:00
	17:00	01:30
Sat	09:00	17:00
	17:00	01:30
Sun	11:00	17:00
	17:00	00:30

State any seasonal variations for the performance of live music (Please read guidance note 5)

	The request for live music events can take place at anytime during the year and are restricted and are contained to allocated areas of the building
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Non standard timings. Where you intend to use the premises for the performance of live music at different times to those listed. (Please read guidance note 6)

	The request for live music events can take place at anytime or day during the year and are restricted and contained to allocated areas of the building
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F - Recorded Music

Will the playing of recorded music take place indoors or outdoors or both? (Please read guidance note 3)

	Indoors
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Please give further details here (Please read guidance note 4)

	Recorded music will be played briefly at admission ceremonies. Events may request a DJ set up amplified/non amplified Recorded music can be requested when there are performances and conferences. These events can be requested to be held any day of the week and are restricted and contained to allocated areas of the building. The RCOG will always assess each event individually before any approval is given to hold the event.
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Business - Application for a premises licence to be granted under the Licensing Act 2003

Standard days and timings for Recorded Music (Please read guidance note 7)

Day	Start	Finish
Mon	09:00	17:00
	17:00	01:30
Tues	09:00	17:00
	17:00	01:30
Wed	09:00	17:00
	17:00	01:30
Thur	09:00	17:00
	17:00	01:30
Fri	09:00	17:00
	17:00	01:30
Sat	09:00	17:00
	17:00	01:30
Sun	11:00	17:00
	17:00	00:30

State any seasonal variations for playing recorded music (Please read guidance note 5)

	There are no seasonal variations to when the events are held and are restricted and contained to allocated areas of the building.
--	---

Non standard timings. Where you intend to use the premises for the playing of recorded music entertainment at different times to those listed. (Please read guidance note 6)

	These events can be held at anytime or day during the year and are restricted and contained to allocated areas of the building.
--	---

G - Performances of Dance

Will the performances of dance take place indoors or outdoors or both? (Please read guidance note 3)

	Indoors
--	---------

Please give further details here (Please read guidance note 4)

	There may be events that require a dance floor with amplified pre-recorded or live music, events which may have cultural performances, all equipment would be provided by the event organiser. The RCOG will always assess each event individually before any approval is given to hold the event.
--	--

Standard days and timings for Performance of dance (Please read guidance note 7)

Day	Start	Finish
Mon	09:00	17:00
	17:00	01:30
Tues	09:00	17:00
	17:00	01:30
Wed	09:00	17:00
	17:00	01:30
Thur	09:00	17:00
	17:00	01:30
Fri	09:00	17:00
	17:00	01:30
Sat	09:00	17:00
	17:00	01:30
Sun	11:00	17:00
	17:00	00:30

State any seasonal variations for the performance of dance (Please read guidance note 5)

	These types of events can be held at any time or day during the year and are contained to allocated areas of the building.
--	--

Non standard timings. Where you intend to use the premises for the performance of dance entertainment at different times to those listed. (Please read guidance note 6)

	These types of events can be held at any time or day during the year and are contained to allocated areas of the building.
--	--

H - Anything of a similar description to that falling within (e), (f) or (g)

Please give a description of the type of entertainment you will be providing

	Amplified and non amplified pre-recorded music Live music non amplified/non-amplified with or without dancefloor. The RCOG will always assess each event individually before any approval is given to hold the event.
--	---

Will the entertainment take place indoors or outdoors or both? (Please read guidance note 3)

	Indoors
--	---------

Please give further details here (Please read guidance note 4)

	Entertainment will be held and restricted to allocated areas of the premises.
--	---

Business - Application for a premises licence to be granted under the Licensing Act 2003

Standard days and timings for Anything of a similar description to that falling within (e), (f) or (g) (Please read guidance note 7)

Day	Start	Finish
Mon	09:00	17:00
	17:00	01:30
Tues	09:00	17:00
	17:00	01:30
Wed	09:00	17:00
	17:00	01:30
Thur	09:00	17:00
	17:00	01:30
Fri	09:00	17:00
	17:00	01:30
Sat	09:00	17:00
	17:00	01:30
Sun	11:00	17:00
	17:00	00:30

State any seasonal variations for entertainment of a similar description to that falling within (e), (f) or (g) (Please read guidance note 5)

	Requests for entertainment are received throughout the year and are restricted and contained to allocated areas of the building.
--	--

Non standard timings. Where you intend to use the premises for the entertainment of similar description to that falling within (e), (f) or (g) at different times to those listed. (Please read guidance note 6)

	Events may request for an extended end time to their events but the RCOG will always assess and then make their decision before the event is confirmed.
--	---

I - Late Night Refreshment

Will the provision of late night refreshment take place indoors or outdoors or both? (Please read guidance note 3)

	Indoors
--	---------

Please give further details here (Please read guidance note 4)

	<p>Alcohol and food will only be supplied to RCOG Members and to events who have booked and paid in advance.</p> <p>The service of alcohol and food would be supplied in the following scenarios:</p> <ul style="list-style-type: none"> - pre booked drinks reception - pre booked lunch or lunch event - pre booked dinner or dinner event <p>The RCOG will always assess each event individually before a decision is made to hold the event.</p>
--	---

Standard days & timings for Late night refreshment (Late night start time is from 23.00, see guidance notes 7)

Day	Start	Finish
Mon		
	23:00	01:30
Tues		
	23:00	01:30
Wed		
	23:00	01:30
Thur		
	23:00	01:30
Fri		
	23:00	01:30
Sat		
	23:00	01:30
Sun		
	23:00	00:30

State any seasonal variations for the provision of late night refreshment (Please read guidance note 5)

	Events with alcohol and food can be requested to be held at any time during the year and will be served and consumed in allocated areas of the building.
--	--

Non standard timings. Where you intend to use the premises for the provision of late night refreshment at different times, to those listed. Please list, (Please read guidance note 6)

	Events with alcohol and food can be requested to be held at any time during the year and will be served and consumed in allocated areas of the building.
--	--

J - Supply of Alcohol

Will the supply of alcohol be for consumption (Please read guidance note 8)

	On the premises
--	-----------------

Standard days and timings for Supply of alcohol (Please read guidance note 7)

Day	Start	Finish
Mon	11:00	17:00
	17:00	01:30
Tues	11:00	17:00
	17:00	01:30
Wed	11:00	17:00
	17:00	01:30

Business - Application for a premises licence to be granted under the Licensing Act 2003

Thur	11:00	17:00
	17:00	01:30
Fri	11:00	17:00
	17:00	01:30
Sat	11:00	17:00
	17:00	01:30
Sun	11:00	17:00
	17:00	00:30

State any seasonal variations for the supply of alcohol (Please read guidance 5)

	Events where alcohol is requested can be booked for any day during the year.
--	--

Non standard timings. Where you intend to use the premises for the supply of alcohol at different times to those listed. Please list, (Please read guidance note 6)

	Events where alcohol is requested can be booked for any day during the year.
--	--

Please download and then upload the consent form completed by the designated proposed premises supervisor

	Premises-licence-consent-form-for-designated-Supervisor.pdf
--	---

Premises Supervisor

Full name of proposed designated premises supervisor

First names	Mr Pawel Jerzy
Surname	Zwiernik-Bogacki

DOB

Date Of Birth	
---------------	--

Address of proposed designated premises supervisor

Street number or Building name	
Street Description	
Town	
County	
Post code	

RECEIVED

26 JUN 2019

K

Please highlight any adult entertainment or services, activities, other entertainment or matters ancillary to the use of the premises that may give rise to concern in respect of children (please read guidance note 9).

L

Hours premises are open to the public Standard days and timings (please read guidance note 7)			State any seasonal variations (please read guidance note 5)
Day	Start	Finish	Non standard timings. Where you intend the premises to be open to the public at different times from those listed in the column on the left, please list (please read guidance note 6)
Mon	08.00	17.00	
	17.00	01.30	
Tue	08.00	17.00	
	17.00	01.30	
Wed	08.00	17.00	
	17.00	01.30	
Thur	08.00	17.00	
	17.00	01.30	
	08.00	17.00	
	17.00	01.30	
Sat	08.00	17.00	
	17.00	01.30	
Sun	11am	17.00	
	17.00	00.30	

Business - Application for a premises licence to be granted under the Licensing Act 2003

Personal licence number of proposed designated premises supervisor, if any,

Personal licence number (if known)	[REDACTED]
Issuing authority (if known)	Three Rivers District Council

K

Please highlight any adult entertainment or services, activities, other entertainment or matters ancillary to the use of the premises that may give rise to concern in respect of children (Please read guidance note 9)

	Events where there may be mature themes, semi/full nudity, violence or gambling of any nature are not permitted.
--	--

L - Hours premises are open to public

Hours premises are open to the public (standard timings Please read guidance note 7)

Day	Start	Finish
Mon	08:00	17:00
	17:00	21:00
Tues	08:00	17:00
	17:00	21:00
Wed	08:00	17:00
	17:00	21:00
Thur	08:00	17:00
	17:00	21:00
Fri	08:00	17:00
	17:00	21:00
Sat	08:00	17:00
	17:00	21:00
Sun	08:00	17:00
	17:00	20:00

State any seasonal variations (Please read guidance note 5)

	The standard opening times are 8am-17.00 Monday-Friday, anything after these times and any weekends/Bank Holidays are for pre-booked events only.
--	---

Non standard timings. Where you intend to use the premises to be open to the public at different times from those listed. Please list, (Please read guidance note 6)

	The Café will be available to the public and may remain open later than 5pm.
--	--

Business - Application for a premises licence to be granted under the Licensing Act 2003

M - Steps to promote four licencing objectives

a) General - all four licensing objectives (b,c,d,e) (Please read guidance note 10)

	The Royal College of Obstetricians & Gynaecologists (RCOG) will ensure that its building and the facilities it provides are regularly maintained. There will be free water available to all visitors.
--	--

b) the prevention of crime and disorder

	<ol style="list-style-type: none"> 1. CCTV will be in place across the premises and in operation 24/7. 2. Reception staff will be on site from 8am-5pm. 3. Once the building is vacated by staff and visitors, the building will be secured via an alarm system connected to the police. 4. Where an event requires additional security i.e because of the number of delegates on site, the RCOG will ensure this is arranged before the event takes place. 5. Events taking place on the premises are organised by the RCOG or the on-site sales team and staff from either or both parties will be on site for the duration of the event. 6. Alcohol is not sold over the counter at any event. 7. The RCOG's on site catering and sales are managed by their contractor Graysons who will be trained in the laws relating to under age sales and that training shall be documented. 8. Substantial food and suitable beverages other than intoxicating liquor will be available during all events within the permitted hours in all allocated areas of the building where intoxicating liquor is sold or supplied.
--	---

c) public safety

	<ol style="list-style-type: none"> 1. There will be RCOG trained First Aid Officers on site from 8am-17.00 Monday-Friday. For events taking place after 5pm, weekends and Bank holidays this will be looked after and managed by the on-site catering company Graysons. It is the RCOG 's responsibility to ensure that all First Aid Officers undertake regular training. 2. First Aid supplies and equipment will be regularly checked and maintained. 3. Regular safety checks shall be carried out by the College Buildings Team. 4. The premises shall maintain an Accident and Log and Public Liability Insurance 5. There shall be dedicated events team overseeing all events that take place on the premises and all their staff knowledgeable of the building and fire evacuation procedures. 6. The RCOG shall liaise with the Fire Authority on all aspects of the fire safety regulations.
--	---

d) the prevention of public nuisance

	<ol style="list-style-type: none"> 1. The Dispersal Policy shall be adopted and applied to at all times. Notices will be displayed at all exits used by visitors requesting guests to leave the building in a quiet manner. 2. No noise shall emanate from the premises nor vibration be transmitted through the structure of the premises which gives rise to nuisance. 4. Smoking or vaping is not permitted on the premises. 5. Management will be available during operational hours. 6. Light from the premises shall not cause a nuisance to nearby premises.
--	--

e) the protection of children from harm

	1. Children under the age of 18 are not permitted on the premises unless accompanied y an adult.
--	--

Business - Application for a premises licence to be granted under the Licensing Act 2003

	<p>2. Pre-booked events which may have children under the age of 18 in attendance are to be authorised by the RCOG before the event is confirmed.</p> <p>3. Substantial food and suitable beverages other than intoxicating liquor shall be available during the whole event and in all parts of the premises where intoxicating liquor is sold or supplied as part of the event.</p> <p>4. All areas of the building where children will be present will be safety checked for any potential risks and will be made safe ahead of the event taking place.</p> <p>5. Fires exits and evacuation procedures will be made clear to the client prior to the event taking place.</p>
--	--

Please upload a plan of the premises

	Premises-floor-plans.pdf
--	--

Please upload any additional information i.e. risk assessments

	2018-09-07-FRA-June-2018.pdf
--	--

Checklist

	<p>I have enclosed the plan of the premises.</p> <p>I understand that if I do not comply with the above requirements my application
 will be rejected.</p> <p>I understand that I must now advertise my application (In the local paper within 14 days of applying</p>
--	---

Home Office Declaration

Please tick to indicate agreement

	<input type="checkbox"/> I am a company or limited liability partnership
--	--

Declaration

I agree to the above statement

	Yes
PaymentDescription	
AuthCode	
LicenceReference	
PaymentContactEmail	

Please provide name of applicant (the current premises licence holder) or applicant's solicitor or other duly authorised agent (please read guidance note 12). If completing on behalf of the applicant, please state in what capacity.

Full name	Fred Emden
-----------	------------

Business - Application for a premises licence to be granted under the Licensing Act 2003

Date (DD/MM/YYYY)	24/06/2019
Capacity	Deputy CEO Royal College of Obstetricians & Gynaecologists

Where the premises licence is jointly held, enter the 2nd applicant (the current premises licence holder) or 2nd applicant's solicitor or other authorised agent (guidance note 13). If completing on behalf of the applicant state in what capacity

Full name	
Date (DD/MM/YYYY)	24/06/2019
Capacity	

Contact name (where not previously given) an address for correspondence associated with this application (please read guidance note 14)

Contact name and address for correspondence	Mrs Indie Dhindsa Royal College of Obstetricians & Gynaecologists
Telephone No.	020 7772 6438
If you prefer us to correspond with you by e-mail, your email address (optional)	

The information you provide will be used fairly and lawfully and Southwark Council will not knowingly do anything which may lead to a breach of the Data Protection Act 1998.

12222222

12222222

Revisions
 1. 10/10/10
 2. 10/10/10
 3. 10/10/10
 4. 10/10/10
 5. 10/10/10
 6. 10/10/10
 7. 10/10/10
 8. 10/10/10
 9. 10/10/10
 10. 10/10/10

Notes

Survey information by others to be verified on site.
 Existing floor levels may vary - to be confirmed on site.
 Do not scale from drawing.
 Drawing to be printed in colour.
 Furniture layout preliminary only.
 Refer to specification document 1703_20_000
 Refer to 1703_20_000 series for floor plans.
 Refer to 1703_20_000 series for floor plans.
 Refer to 1703_20_000 series for floor plans.
 Refer to 1703_20_000 series for floor plans.



Boundary line

**BENNETTS
 ASSOCIATES**

1 Barington Place, London EC1V 7HL
 T: +44 (0)20 7320 2000
 F: +44 (0)20 7320 2001
 E: info@bennetts.co.uk
 www.bennetts.co.uk

Project
RCOG
 Royal College of Obstetricians and Gynaecologists

Drawing Title
**General Arrangement
 Ground Floor Plan**

Drawing Number
1703_20_100

Scale @ A3
1:100

Revision Date
19/02/22

Revision
G

Revision
19/02/22

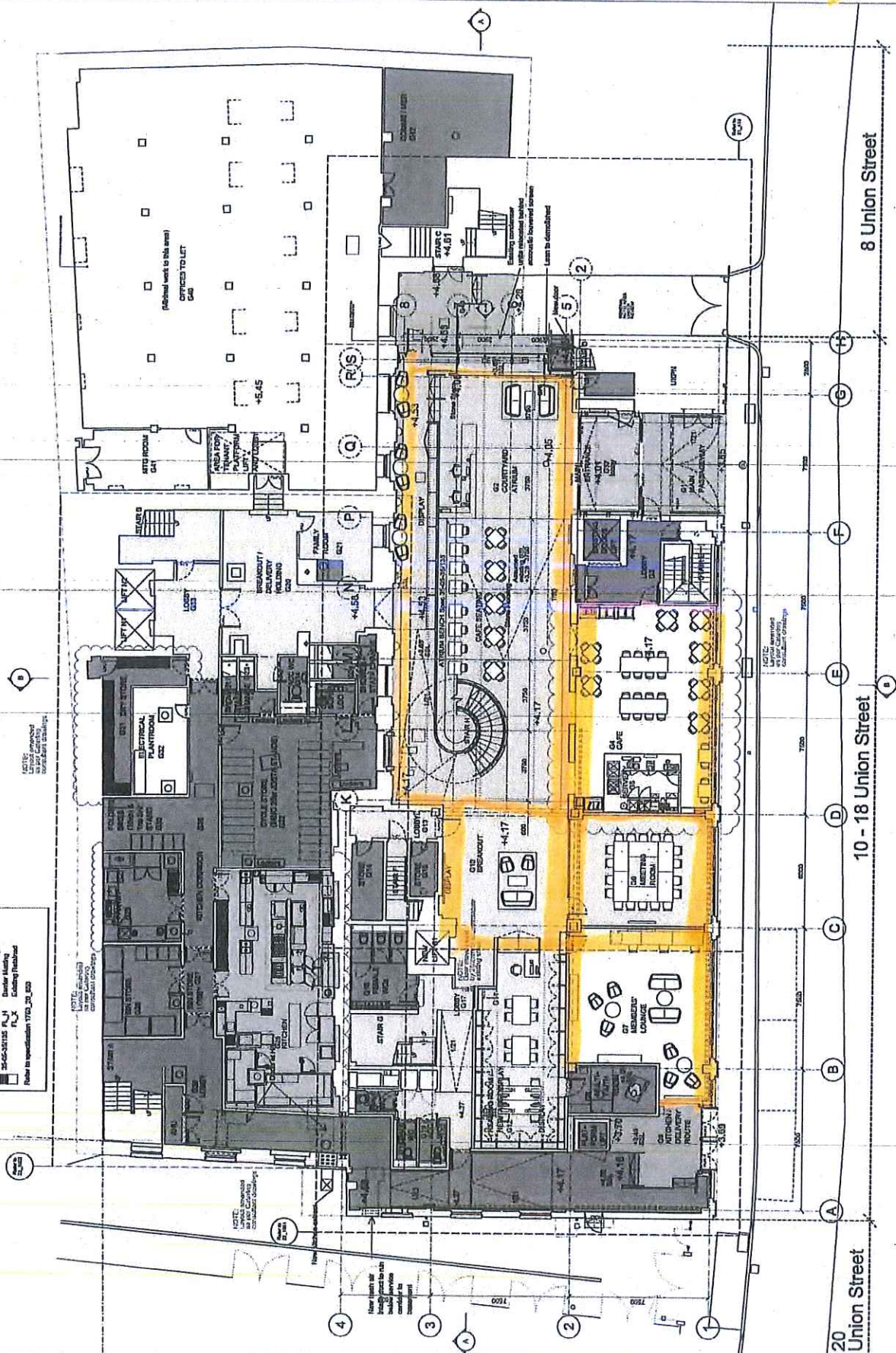
Revision
19/02/22

Revision
19/02/22

Revision
19/02/22

Revision
19/02/22

Revision
19/02/22



FLOOR FINISHES KEY

20-00-000000	FL_A1	Concrete Type 1
20-00-000000	FL_A2	Concrete Type 2
20-00-000000	FL_B	Vinyl
20-00-000000	FL_C	Timber/Tile
20-00-000000	FL_D	Timber/Tile
20-00-000000	FL_E	Timber/Tile
20-00-000000	FL_F	Timber/Tile
20-00-000000	FL_G	Timber/Tile
20-00-000000	FL_H	Timber/Tile
20-00-000000	FL_I	Timber/Tile
20-00-000000	FL_J	Timber/Tile
20-00-000000	FL_K	Timber/Tile
20-00-000000	FL_L	Timber/Tile
20-00-000000	FL_M	Timber/Tile
20-00-000000	FL_N	Timber/Tile
20-00-000000	FL_O	Timber/Tile
20-00-000000	FL_P	Timber/Tile
20-00-000000	FL_Q	Timber/Tile
20-00-000000	FL_R	Timber/Tile
20-00-000000	FL_S	Timber/Tile
20-00-000000	FL_T	Timber/Tile
20-00-000000	FL_U	Timber/Tile
20-00-000000	FL_V	Timber/Tile
20-00-000000	FL_W	Timber/Tile
20-00-000000	FL_X	Timber/Tile
20-00-000000	FL_Y	Timber/Tile
20-00-000000	FL_Z	Timber/Tile

Refer to specification 1703_20_000

20 Union Street

10 - 18 Union Street

8 Union Street

Notes

Survey information by others to be verified on site.
Easting foot levels may vary - to be confirmed by client.
Do not scale from drawings.
Drawing to be printed in colour.
Furniture layout is preliminary only.
Refer to specification document 1703_201_000

⊕

Refer to SA, 1703_073_000 notes to this plan.

Waters to be carried and held in Urban Drain 160.
Refer to 17030200 drawings for details of these details.

Boundary line

BENNETTS
ASSOCIATES

† Flanagan, Pines, Kopp, and Kopp
T + 416.763.1070 info@fknk.com www.fknk.com
C. Smith @ bernard@bernardsmith.com

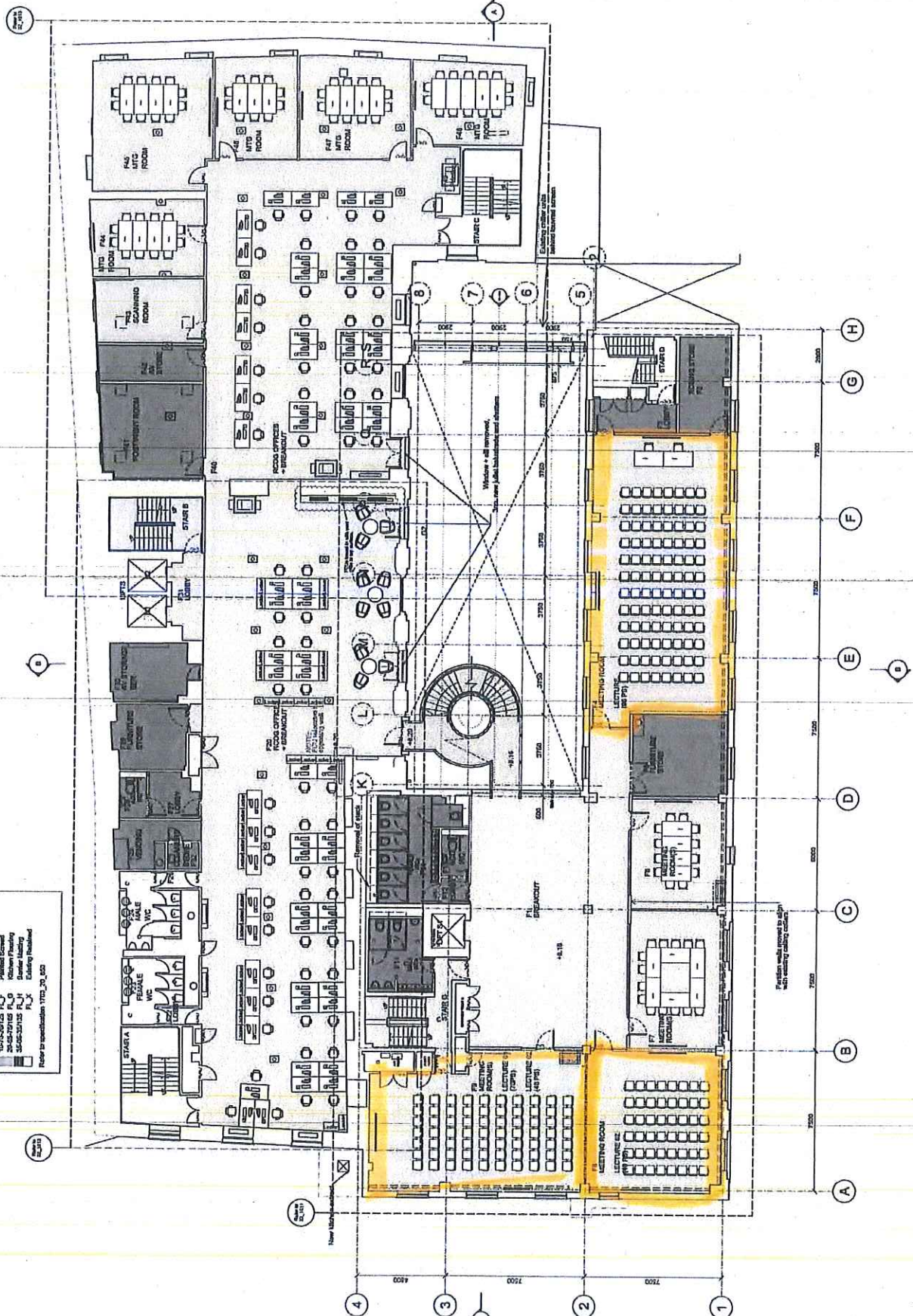
Project	Project No.	Year
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3	102	1973
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100	199	1973

Royal College of Obstetricians and Gynaecologists

Drawing Title
General Arrangement
First Floor Plan

Drawing Number
1703 20 101

Scale @ A3	Scale @ A1	Revision Date
1:200	1:100	196222
		17 MAR 200



Survey information by source to be verified on site.
Existing floor levels may vary - to be confirmed on site.
Do not scale from drawings.
Drawing to be printed in colour.
Furniture layout is preliminary only.
Refer to specification document 17153_20_000

Refer to LA 1702_221_1000 notes for cited plans.

Works to courtyard and Plaza Urban Streetcar

Refer to V703(23)series for screeds and floor details

BENNETTS
ASSOCIATES

† Ravenscroft Place, London EC1V 7NL
T +44(0)207 470 3320 • www.bentley-stanstead.com
E info@bentley-stanstead.com

Project	Project No.	Project Date

CCC

Conclusion

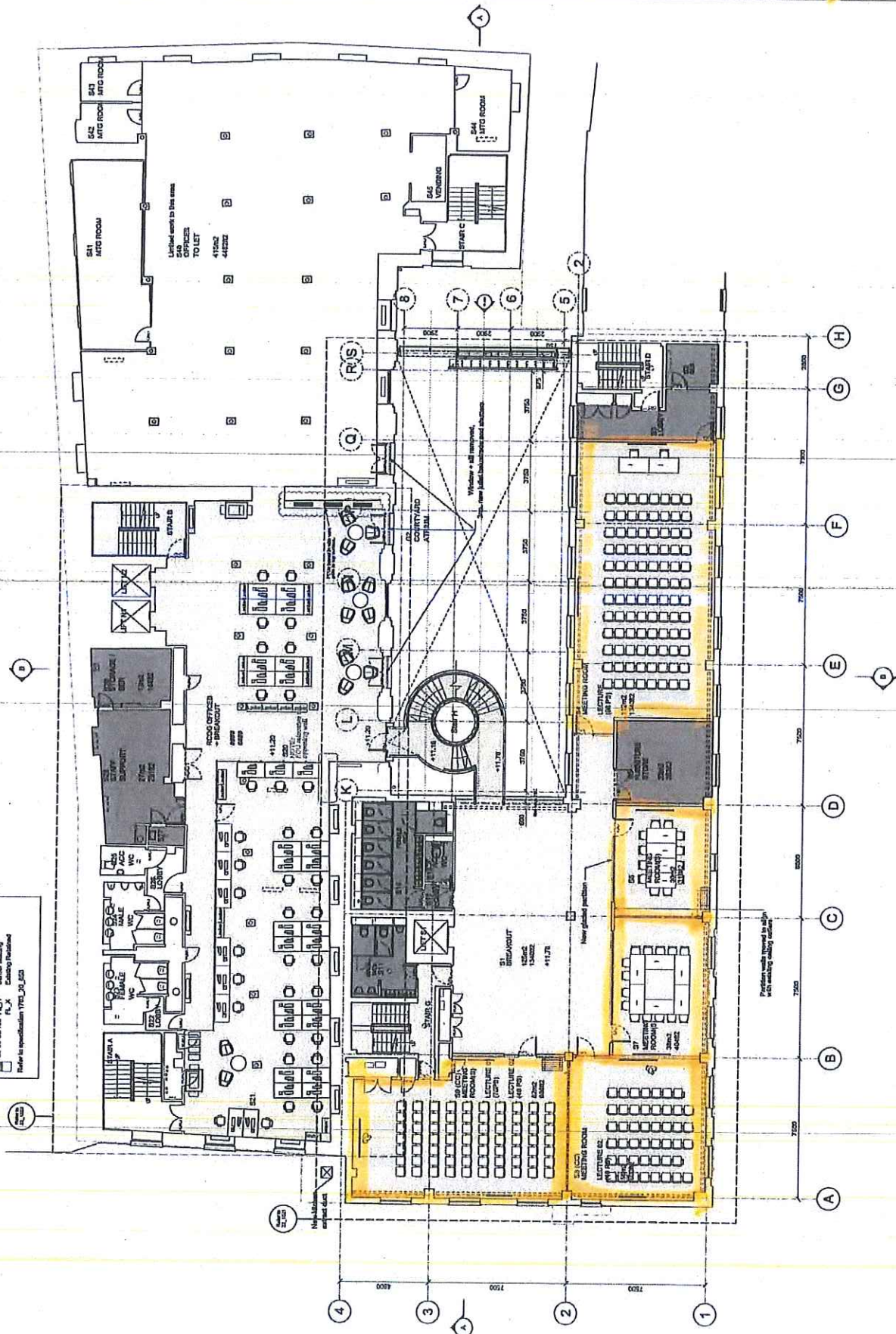
General Arrangement
Second Floor Plan

Drawing Number	1703_20_102
Releaser's Submitter	F

Member	Grade	Grade
...

Volume (L)	Cost (\$)	Revenue (\$)
1200	1400	1800

277061 60114 66271



Survey information by others to be verified on site.
Existing floor levels may vary - to be confirmed on site.
Do not scale from drawings.
Drawing to be printed in colour.
Furniture layouts preliminary only.
Refer to specification documents 1793-20-030.

Refer to EA 1709 F27 1909 scales for Head values.

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Wants to construct and No. 1 Union Steel Co.

Refers to 1752(23) for accounts and form data.

BENNETTS
ASSOCIATES

1 Navitorne Place, London EC1V 7NL
T +44 (0)20 74702100 • www.benrhetts.co.uk
E frank@benrhetts.co.uk

四生是

CCD

Drawing Title

General Arrangement

Dorothea M. B. et al.

1702 30 105

1763_20_1031

100

LIVE

1:200 1:100

Q

1000

Note: Blackout blinds to all windows and new rooflights to the 300 Person Meeting Hall.

DISPERSAL POLICY

The purpose of this Dispersal Policy is to ensure, so far as it is possible, that minimum disturbance or nuisance is caused to our neighbours and to ensure that the operation of the premises makes the minimum impact upon the neighbourhood in relation to potential nuisance and anti-social behaviour. This will be achieved by exercising pro-active measures towards and at the end of the evening.

By ensuring that this Dispersal Policy document is brought to the attention of Management and Staff we will seek to encourage the efficient, controlled and safe dispersal of our patrons during our closing period.

1. At the end of the evening management and staff will assist with the orderly and gradual dispersal of patrons.
2. Staff Members will advise patrons to leave the premises quickly and quietly out of respect for our neighbours.
3. Notices will be displayed requesting our guests to leave quietly and in an orderly manner out of consideration to neighbours and their attention will be drawn to these notices by members of staff.
4. We will ensure the removal of all bottles and drinking receptacles from any patron before exiting the premises
5. We will actively discourage our customers from assembling outside the premises at the end of the evening.



The Licensing Unit
Floor 3
160 Tooley Street
London
SE1 2QH

Metropolitan Police Service
Licensing Office
Southwark Police Station,
323 Borough High Street,
LONDON,
SE1 1JL

Tel: 020 7232 6756

Email: SouthwarkLicensing@met.police.uk

Our reference: MD/21/102/19

Date: 24th July 2019

Dear Sir/Madam

Re:- 10 Union Street, 10-18 Union Street, London Se1 1SZ

Police are in possession of an application from the above for a new premises licence. The application is for a 56000ft² office block and conference facilities. The building is for staff of the Royal College of Obstetricians and Gynaecologists (ROCG)

The premises are situated within The Borough and Bankside cumulative impact zone and a designated District town centre as specified within the Southwark Statement of licensing policy. The hours applied for are inside that recommended in the policy for members clubs, which is the closest to what the application describes.

The application also allows for third party hiring which would take it away from alcohol only being served to ROCG members. No accommodation limit has been supplied for these events or details of type of events so I am unable to assess the cumulative impact on the area. There are a number of residential properties in the area and the building has a playground opposite.

We object to the granting of the licence in the current format and would like to see the following measures placed on the licence.

For all events open to non-ROCG we would require SIA security with a minimum of two and employed at a ratio of 1/150 guests.

A dispersal policy is put in place for all events open to non-ROCG members. The police should be available immediately on request to officers of the council and police for inspection.

No drinking up time has been allowed. We request that the sale of alcohol cease 30 minutes prior to the terminal hour to allow customers to finish their drinks before the premises must close.

We require more details as to who the sale and supply of alcohol is to, so the Cumulative impact policy can be fully considered.

If the licence is granted the Police would also recommend the following conditions to be included on the licence, some of which may have been offered as part of the operating schedule but the wording is important to avoid ambiguity.

1. That a CCTV system be installed at the premises and be maintained in good working order and be continually recording at all times the premises are in use under the licence. The CCTV System must be capable of capturing a clear facial image of every person who enters the premises.
2. All CCTV footage be kept for a period of 31 days and shall on request be made immediately available to officers of the police and the council in that there will be a member of staff present at all times to operate the CCTV for viewing and downloading to a removable device.
3. That all staff involved in the sale or supply of alcohol are trained in their responsibilities under the licensing act 2003 and training records to be kept and updated every 6 months and shall, upon request, be made immediately available to Officers of the Police and the Council.

The Following is submitted for your consideration.
Yours Sincerely

Pc Graham White 2288AS
Southwark Police Licensing Unit
Tel: 0207 232 6756

From: Prickett, Mark
Sent: Wednesday, July 24, 2019 1:31 PM
To: Regen, Licensing
Cc: Mills, Dorcas
Subject: EPT representation, new premises licence, 10-18 Union Street, SE1

Dear Licensing,

Southwark's Environmental Protection Team have reviewed the new premises application for the Royal College of Obstetricians and Gynaecologists, 10-18 Union Street, SE1 1SZ.

The premises will be office space with conferencing facilities and event space with the following licensable activities sought:

- Films, Live and recorded music, Performance of dance and Entertainment similar to music and dance (all indoors), Monday to Saturday 09:00 – 01:30, Sunday 11:00 – 00:30
- Late night refreshment (indoors) Monday to Saturday - 23:00 – 01:30, Sunday 23:00 - 00:30
- Supply of alcohol (on the premises) Monday to Saturday - 11:00 - 01:30, Sunday 11:00 - 00:30
- Opening hours: Monday to Saturday 08:00 - 01:30, Sunday 11:00 - 00:30 Sunday.

EPT stance

There is some concern as live music, DJs, dance floors etc are requested to 01:30 in the morning everyday of the week apart from Sunday which is still 00:30.

Section M, part d) of the application form has been reviewed. A dispersal policy is referred to but is not provided for review?

There is a control measure that states "No noise shall emanate from the premises nor vibration be transmitted through the structure of the premises which gives rise to nuisance". How is this planned to be achieved with the licensable activities sought? Is there adequate noise insulation within the building to contain music noise? Is there plans to install a sound limiter and set maximum permissible noise levels for events?

What times will deliveries, collections and waste collections take place?

Table 2 on page 78 of Southwark's Licensing Policy outlines recommended hours of operation. This premises would be considered an events premises, whereby hours of operation are recommended to be 00:00 (midnight) Sunday to Thursday, 01:00 Friday and Saturday.

There are residential properties nearby on Union Street who could be disturbed from music / entertainment noise but also from the dispersal of persons late at night.

EPT therefore **make representation** against this application and look forwarding the reviewing further information addressing the above in due course.

Kind regards,

Mark Prickett
Principal Enforcement Officer
 Environmental Protection Team

Tel: 020 7525 0023

Postal address: Southwark Council, Environmental Protection Team, Regulatory Services,
3rd Floor Hub 1, PO Box 64529, London, SE1P 5LX

Office address (By appointment only): Southwark Council, 160 Tooley Street, London,
SE1 2QH

Air Quality web pages: <http://www.southwark.gov.uk/air-quality>

Construction web pages: <http://www.southwark.gov.uk/construction>

London Low Emission Construction Partnership - <http://www.llecp.org.uk/>



MEMO: Licensing Unit

To Licensing Unit Date 24 July 2019

Copies

From Jayne Tear Telephone 020 7525 0396 Fax

Email jayne.tear@southwark.gov.uk

Subject Re: 10 Union Street, 10-18 Union Street, London, SE1 1SZ

– Application for a premises licence

I write with regards to the above application for a premises licence submitted by The Royal College of Obstetricians and Gynaecologists under the Licensing Act 2003, which seeks the following licensable activities:

- Films; live music, recorded music, performance of dance, anything of a similar description to live music, recorded music and performance of dance (all indoors) on Monday to Saturday from 09:00 to 01:30 the following day and on Sunday from 11:00 to 00:30 the following day
- Late night refreshment (indoors) on Monday to Saturday from 23:00 to 01:30 the following day and on Sunday from 23:00 to 00:30 the following day
- Supply of alcohol (on the premises) on Monday to Saturday from 11:00 to 01:30 the following day and on Sunday from 11:00 to 00:30 the following day
- Overall opening times shall be on Monday to Saturday from 08:00 to 01:30 the following day and on Sunday from 11:00 to 00:30 the following day

The premises is described within the general description as *‘The building will provide contemporary office spaces supporting new ways of working for the RCOG's 200+ staff as well as conferencing facilities and cafe, catering for staff and the public. The College aims to provide a fully accessible building with an emphasis on health and wellbeing and sustainable design. The two adjoining buildings provide a combined NET internal area of approximately 56000ft2/ 5200m2 on four floors and a part-basement. The site is abutted to full height by other buildings on the North and East sides with party and/or boundary walls but is open to Union Street to the south and also to a private yard on the West. Until recently the site has been in B1 use as a training centre for Price Waterhouse Coopers who were the freehold owners until December 2017 when RCOG purchased the site. The North building is a converted hop warehouse which dates originally from 1853. The building was converted to office use in the 1970s and was internally refurbished around 2007. The South Building was purpose-built for offices in the 1980s. The two buildings are in effect independent, but connecting by a glazed roofed covered atrium’.*

My representation is based on the Southwark Statement of Licensing policy 2019 – 2021 and relates to the licensing objectives for the prevention of crime and disorder and the prevention of public nuisance.

This premise is situated within the Bankside, Borough, London Bridge Strategic Cultural & London Bridge District Town Centre Area and under the Southwark Statement of Licensing policy 2019 – 2021 the appropriate closing times in the area for public houses, wine bars or other drinking establishments on Sunday to Thursday is 23:00 hours and for Friday and Saturday is 00:00 hours

The premises also falls within the CIP area for Borough and Bankside. Under the Southwark Statement of Licensing Policy 2019 - 2021 the Local CIP applies to night clubs, public houses & bars, restaurants & cafes, off-licences, supermarkets, convenience stores and similar premises.

Section six of the policy (from page 32) deals with Southwark's local cumulative impact policies. This premises sits in the Borough and Bankside policy area as defined in paragraph 141 of the policy and this premises could fall into the class of premises in 143 of the policy.

Therefore under 130 of the policy there is a rebuttable presumption that applications for new premises licences that are likely to add to the existing cumulative impact will normally be refused or subject to certain limitations. In such circumstances, it is for the applicant to demonstrate that the application will not, if granted, further contribute to the negative local cumulative impact on any one or more of the licensing objectives.

The applicant has not addressed the presumption to refuse this application within the operating schedule. I would recommend refusal of this application unless the applicant can demonstrate that the premises will not contributing to crime and disorder and public nuisance within the policy area.

The opening hours asked for within this application exceeds that which is appropriate in the licensing policy for this area. Further to this there has there has not been any time left between the last sale of alcohol 'on sales' and the closing time when patrons should have left the premises, this can lead to conflict between staff and the customer having purchased an alcoholic drink for consumption on the premises minutes before closing time and being asked to either finish the drink or hand it back and to leave the premises. Additionally this will encourage patrons to rush consumption of alcoholic drinks at the same time of closing which can lead to antisocial behaviour problems when patron have left the premises.

To promote the licensing objectives I ask the applicant to consider amended the operating schedule to bring the closing hours in line with the hours recommend as appropriate within the policy and in turn the licensable activities. Also for sale of alcohol 'on sales' to finish half an hour before the closing times as follows:

- Opening times on Sunday to Thursday to cease at 23:00 hours and for Friday and Saturday to cease at 00:00 hours
- Supply of alcohol (on the premises) on Sunday to Thursday to cease at 22:30 hours and for Friday and Saturday to cease at 23:30 hours (this allows for half an hour drinking up time)
- Films; live music, recorded music, performance of dance, anything of a similar description to live music, recorded music and performance of dance (all indoors) on Sunday to Thursday to cease at is 23:00 hours and for Friday and Saturday to cease at 00:00 hours

- Late night refreshment (indoors) shall on apply on Friday and Saturday only and shall cease at 00:00

Due to the limited information on the application form and to promote the licensing objectives I ask the applicant to provide the following information

- An accommodation limit for the premises (to be conditioned)
- To provide a dispersal policy for the premises (to be conditioned)

I therefore submit this representation and welcome any discussion with the applicant.

Southwark's Statement of Licensing Policy 2019 – 2021 can be found on the following link:

<https://www.southwark.gov.uk/business/licences/business-premises-licensing/licensing-and-gambling-act-policy>

Jayne Tear
Principal Licensing officer
In the capacity of the Licensing Responsible Authority

OPERATING SCHEDULE**Royal College of Obstetricians and Gynaecologists (RCOG)****10 – 18 Union Street, London, SE1 1SX**

RCOG will ensure that its building and the facilities it provides are regularly maintained. There will be free water available to all visitors.

A) The Prevention of Crime and Disorder

1. A CCTV system be installed at the premises and be maintained in good working order and be continually recording at all times the premises are in use under the licence. The CCTV system must be capable of capturing a clear facial image of every person who enters the premises.
2. All CCTV to be kept for a period of 31 days and shall on request be made immediately available to officers of the police and the council in that there will be a member of staff present at all times to operate the CCTV for viewing and downloading to a removable device.
3. All staff involved in the sale or supply of alcohol are trained in their responsibilities under the Licensing Act 2003 and training records to be kept and updated every 6 months and shall, upon request, be made immediately available to officers of the police and the council.
4. Reception staff will be on site from 8am-5pm.
5. Once the building is vacated by staff and visitors, the building will be secured by an alarmed system connected to the police.
6. Where an event requires additional security i.e. because of the number of delegates on site, RCOG will ensure this is arranged before the event takes place.
7. Events taking place on the premises are organised by RCOG or the on-site sales team and staff from either or both parties will be on site for the duration of the event.
8. Alcohol is not sold over the counter at any event.
9. The RCOG on site catering and sales are managed by their contractor Graysons whose staff will be trained in the laws related to under age sales and that training shall be documented.
10. For non RCOG events SIA security will be provided with minimum of 2 and employed at a ratio of 1:150 guests.
11. Substantial food and suitable beverages other than intoxicating liquor will be available during all events within the permitted hours or allocated areas of the building where intoxicating liquor is sold or supplied.
12. With the exception of the ground floor café (which will trade between the hours of 1100 and 2100 daily) licensable activities will only be available to:
 - a) Staff and members of RCOG and their bona fide guests;
 - b) Persons attending a pre-booked event/meeting to which members of the general public are not permitted on a walk in basis.
13. There will be no sales of alcohol for consumption off the premises.

B) Public Safety

1. There will be RCOG trained First Aid Officers on site from 8am-1700 Monday-Friday. For events taking place after and managed by the on-site catering company Graysons. It is the RCOG's responsibility to ensure that all First Aid Officers undertake regular training.
2. First Aid suppliers and equipment will be regularly checked and maintained.
3. Regular safety checks shall be carried out by the College Buildings Team.
4. The premises shall maintain an Accident Log and Public Liability Insurance.
5. There shall be dedicated events team overseeing all events that take place on the premises and their staff knowledgeable of the building and fire evacuation procedures.
6. The RCOG shall liaise with the Fire Authority on all aspects of the fire safety regulations.
7. Fire exits and evacuation procedures will be made clear to the client prior to the event taking place.
8. Capacities for licensed areas for each floor are as follows:
 - Ground Floor
 - First Floor
 - Second Floor
 - Third Floor

C) The Prevention of Public Nuisance

1. The Dispersal Policy (see attached) shall be adopted and applied to at all times
Notices will be displayed at all exits used by visitors requesting guests to leave the building in a quiet manner.
2. No noise shall emanate from the premises nor vibration be transmitted through the structure of the premises which gives rise to a nuisance.
3. Smoking or vaping is not permitted on the premises.
4. Management will be available during operational hours.
5. Light from nearby premises shall not cause a nuisance to nearby premises.

D) The Protection of Children From Harm

1. Children under the age of 18 are not permitted on the premises unless accompanied by an adult.
2. Pre-booked events which may have children under the age of 18 in attendance are to be authorised by the RCOG before the event is confirmed.
3. All areas of the building where children will be present will be safety checked for any potential risks and will be made safe or supplied as part of the event.

RCOG DISPERSAL POLICY

The purpose of this Dispersal Policy is to ensure, so far as it is possible, that minimum disturbance or nuisance is caused to our neighbours and to ensure that the operation of the premises makes the minimum impact upon the neighbourhood in relation to potential nuisance and anti-social behaviour. This will be achieved by exercising pro-active measures towards and at the end of the evening.

By ensuring that this Dispersal Policy document is brought to the attention of Management and Staff we will seek to encourage the efficient, controlled and safe dispersal of our patrons during our closing period.

1. At the end of the evening management and staff will assist with the orderly and gradual dispersal of patrons.
2. Staff Members will advise patrons to leave the premises quickly and quietly out of respect for our neighbours.
3. Notices will be displayed requesting our guests to leave quietly and in an orderly manner out of consideration to neighbours and their attention will be drawn to these notices by members of staff.
4. We will ensure the removal of all bottles and drinking receptacles from any patron before exiting the premises
5. We will actively discourage our customers from assembling outside the premises at the end of the evening.

**RCOG
SMOKING POLICY**

1. Any outside area used by customers wishing to smoke shall be covered by the CCTV system which will be installed at the premises.
2. The outside area shall be monitored by staff or door staff when in use.
3. The area will be cleaned regularly.
4. Suitable receptacles shall be provided for smokers to dispose of cigarette butts.
5. Signs will be displayed in the area requesting customers keep noise to a minimum.
6. Patrons who disregard signage and verbal instructions regarding noise will be asked to move inside and/or leave the premises.
7. Open containers of alcohol shall not be permitted to be taken beyond the boundary of the outside area.



RCOG NEW HEADQUARTERS

Acoustic Design Reports

Burk Hunter Adams

21 May 2018

RCOG NEW HEADQUARTERS

Acoustic Design Reports

Burk Hunter Adams

Revision	Description	Author	Checked by	Issued by	Issue Date
00	First Issue	Curtis Thompson	Ze Nunes	Ze Nunes	19/04/2018
01.5	Updates (1.5 addition of GF marked drawing)	Andrew Rickard		AR	24/05/2018

MACH Acoustics Ltd
3rd Floor 4 York Court
Upper York Street
Bristol
BS2 8QF

t: 0117 944 1388
e: info@machacoustics.com
w: www.machacoustics.com

Consultants

AR	Andrew Rickard	andrew@machacoustics.com
CB	Claire Bye	claire@machacoustics.com
CJ	Chris Jones	chris@machacoustics.com
JC	Josh Childs	josh@machacoustics.com
LT	Leonard Terry	leonard@machacoustics.com
MR	Max Reynolds	max@machacoustics.com
OP	Oscar Pope	oscar@machacoustics.com
PS	Patrick Shuttleworth	patrick@machacoustics.com
PJ	Phil Jordan	phil@machacoustics.com
RP	Rory Peliza	rory@machacoustics.com
SH	Stefan Hannan	stefan@machacoustics.com
SD	Steffan Davies	steffan.d@machacoustics.com
YW	Hsuan-Yang Wang	yang@machacoustics.com
ZN	Ze Nunes	ze@machacoustics.com
ZV	Zoe Vernon	zoe@machacoustics.com
TT	Tracy Toal	tracy@machacoustics.com
ZG	Zheng Ge	zheng@machacoustics.com

Finance

Eagle House
163 City Road
London
EC1V 1NR

TABLE OF CONTENTS

1.0	INTRODUCTION	1
2.0	PERFORMANCE TARGETS	2
2.1	BREEAM 2014 Refurbishment and Fit-out.....	2
2.2	BS8233: 2014	3
3.0	BACKGROUND NOISE.....	4
3.1	Design Requirements.....	4
4.0	SOUND INSULATION OF PARTITION	5
4.1	Sound insulation and privacy	5
4.2	Acoustic Separation Across Existing Partitions	6
4.3	Onsite Sound Insulation Requirements	9
4.4	Corridor Walls & Doors.....	9
4.5	Wall Constructions	10
4.6	Glazing.....	10
4.7	Movable Partitions	10
4.8	Toilet Partitions	10
4.9	Sound Insulation - Floors.....	11
5.0	REVERBERATION TIME	12
5.1	Reverberation Targets.....	12
5.2	Corridors and Circulation Spaces	12
5.3	Conference Rooms with Exposed Soffit.....	13
	APPENDIX A - SOUND INSULATION MARK UPS	14
	APPENDIX B - BRITISH COUNCIL FOR OFFICES 2014.....	19
	APPENDIX C - ACOUSTIC TERMINOLOGY	19
	APPENDIX D – CLASSIFICATIONS BASED UPON THE BS8233 MATRIX.....	20
	APPENDIX E – ROOM ID, NAME AND INFORMATION.....	21

1.0 INTRODUCTION

The following report outlines the design requirements for RCOG New Head Quarters necessary to obtain the available BREEAM 2014 Refurbishment and Fit-out credits. To comply with these credits acoustic targets relating to background noise in cellular spaces, sound insulation and reverberation times must be complied with, see Section 2. This document therefore addresses each of these issues in turn. Note that MACH would be advising very similar/equal standards to those given in BREEAM, therefore these standards are not seen to add considerable cost or restriction to the project, maybe just a little more inflexibility.

There are no mandatory targets associated with this development, other than BREEAM. As such the advice throughout this report is for guidance purposes only. MACH Acoustics has carried out assessments in accordance with the standards, guidance and good practice as presented below:

- BS 8233: 2014 'Guidance on sound insulation and noise reduction for buildings'.
- BREEAM Refurbishment and Fit-out 2014
- BCO Guidance
- Building Bulletin 93 (BB93)

In addition to the typical internal acoustic design of the building, there is a BREEAM Pol05 noise pollution credit available. Considering that there will be a planning requirement to ensure that plant noise levels are mitigated sufficiently, it is recommended that the BREEAM Pol 05 credit is also targeted, since there would be no additional cost to the projects to achieve this.

2.0 PERFORMANCE TARGETS

2.1 BREEAM 2014 Refurbishment and Fit-out

2.1.1 BREEAM Hea 05

BREEAM 2014 Refurbishment and fit-out states that up to three credits are available under Hea 05. Since this is a partial fit-out, to achieve these three credits a multi-part assessment will be used following Part 3 and Part 4, which cover the three acoustic principles of;

- Sound Insulation (First credit)
- Indoor Noise Level (Second Credit)
- Reverberation Times (Third Credit)

The credit criteria for Hea05 are presented in Table 2.2 and the associated compliance notes in Table 2.1. Essentially BREEAM requires that the guidance given within BS8233:2014 is followed, further description of BS8233:2014 is presented in Section 2.2

Ref	Terms	Description
CN3	Part 3: Local services	Two credits are available for indoor ambient noise and sound insulation, as relevant to the building type and function: Where an SQA confirms that it is not possible to meet the indoor ambient noise and sound insulation criteria in accordance with the relevant tables in full due to the scope of works, in order to demonstrate compliance; measurement and assessment by an SQA are required to demonstrate that the local services either: • do not change the indoor ambient noise levels where noise break-in through the building envelope is dominant and maintain sound insulation between noise-sensitive spaces; or • reduce the indoor ambient noise levels and maintain sound insulation between noise-sensitive spaces.
CN4	Part 4: Interior design	Two credits are available for the sound insulation and reverberation control criteria as relevant to building type and function, in accordance with the relevant tables.
CN5	Multi-part assessment	For any combination of parts, the available credits for each part are assessed. In the instance where the same criteria are applicable to each assessment part, the most onerous requirement must be adopted and a single credit awarded for that element of acoustic performance.

Table 2.1: BREEAM Hea05 – Compliance Notes

Office buildings (three credits)	
First credit - Sound insulation	
Criteria	The sound insulation between acoustically sensitive rooms and other occupied areas complies with the performance criteria given in Section 7 of BS8233:2014 ⁵ .
Testing requirement	A programme of pre-completion acoustic testing is carried out by a compliant test body in accordance with the acoustic testing and measurement procedures outlined in the Additional information section of this BREEAM issue.
Notes	If testing is to be carried out where the office is not yet furnished, then section 7.5 of BS 8233:2014 should be referred to when determining the performance criteria. Where the office is to be furnished at the time testing is carried out, then refer to section 7.7.6 of BS8233:2014 for the relevant performance criteria.
Second credit - Internal indoor ambient noise levels	
Criteria	Achieve indoor ambient noise levels that comply with the design ranges given in Section 7 of BS 8233:2014.
Testing requirement	A programme of acoustic measurements is carried out by a compliant test body in accordance with the acoustic testing and measurement procedures outlines in the Additional information section of this BREEAM issue.
Third credit - Reverberation	
Criteria	Acoustic environment (control of reverberation, sound absorption and speech transmission index): Achieve the requirements relating to sound absorption and reverberation times, where applicable, set out in Section 7 of BS8233:2014.
Testing Requirement	A programme of acoustic measurements is carried out by a compliant test body in accordance with the acoustic testing and measurement procedures outlined in the Additional information section of this BREEAM issue.

Table 2.2: BREEAM 2014 – Hea05 Credit Criteria

2.1.2 BREEAM Pol 05

This BREEAM credit is associated with noise pollution emitted from the building, typically from mechanical services noise. The credit criteria (below) is less onerous than the Local Authorities planning requirement. It is therefore considered that this credit is targeted.

Credit Criteria

1. Where there are, or will be, no noise-sensitive areas or buildings within 800m radius of the assessed site.
- OR
2. Alternatively, where the building does have noise-sensitive areas or buildings within 800m radius of the site, one credit can be awarded as follows:
 - a. Where a noise impact assessment in compliance with BS 74451 has been carried out and the following noise levels measured/determined:
 - i. Existing background noise levels at the nearest or most exposed noise-sensitive development to the proposed development or at a location where background conditions can be argued to be similar.
 - ii. The rating noise level resulting from the new noise source (see CN7).
 3. The noise impact assessment must be carried out by a suitably qualified acoustic consultant holding a recognised acoustic qualification and membership of an appropriate professional body (see Relevant definitions in the Additional information section).
 4. The noise level from the proposed site/building, as measured in the locality of the nearest or most exposed noise-sensitive development, is a difference no greater than +5dB during the day (07:00 to 23:00) and +3dB at night (23:00 to 07:00) compared to the background noise level.
 5. Where the noise source(s) from the proposed site/building is greater than the levels described in criterion 4, measures have been installed to attenuate the noise at its source to a level where it will comply with criterion 4.

2.2 BS8233: 2014

2.2.1 Indoor Ambient Noise Levels

Tables 2 and 6 of BS8233:2014 give guidance on indoor ambient noise levels for a range of spaces. The table presented in Section 3.0 summarises the relevant design ranges applicable to this development.

2.2.2 Sound Insulation

BS8233:2014 gives guidance relating to on-site sound insulation in the form of an example comprehensive matrix (see Appendix D). Once rooms within the development are assigned privacy requirements, expected activity noise levels, and noise sensitivity, the matrix can be used to allocate $D_{nT,w}$ targets between adjacent spaces.

This matrix is open to interpretation and so there is no fixed performance requirements, where the proposed performance requirement is to be determined by the end user and project acoustician. The BS8233:2014 Privacy, Sensitivity and Activity Noise descriptions presented in appendix B can be confusing, where the client may not be certain with the sound insulation they can expect. Mach have therefore presented another method which we will use in order for the client to direct us and the team to the level of sound insulation they require.

BS8233:2014 specifically states that the minimum sound insulation between two offices needs to be approximately 38 dB D_w . Where privacy is particularly important it is recommended the minimum sound insulation be no less than 48 dB D_w . Though it is possible that voices will be heard, conversation is not usually understood. See Section 4 for more information.

2.2.3 Reverberation Control

Room Acoustics is beyond the scope of BS8233:2014, however, it recommends that low ceilings and absorbent ceilings can assist in reducing sound transmission between workstations. Where ceilings are higher than 3 m, it is more difficult to provide acceptable acoustic conditions in open-plan offices with absorption coverage lower than Class A. Where exposed soffits are used additional absorption might be required. Carpet having good sound-absorbent properties is a desirable floor finish.

3.0 BACKGROUND NOISE

Tables 2 and 6 of BS8233:2014 give guidance on indoor ambient noise levels for a range of spaces. The table below summarises the relevant design ranges applicable to this development, where T should be appropriate for the activity involved.

Room Type	Indoor Ambient Noise Level Design Range, $L_{Aeq,T}$ dB
Executive office	35 – 40
Staff/meeting room, training room	35 – 45
Office (open plan)	45 – 50
Reception Room	35 – 40
Corridor, circulation space	45 – 55

Table 3.1: Recommended Indoor ambient noise levels as per BS8233:2014

3.1 Design Requirements

The façade of this development is not undergoing any changes and therefore noise breaking in through the façade is seen as a constant. However, noise around this development is relatively low, thus internal noise level are assumed to be below the above levels. As such the internal noise levels will be dominated by services noise. The table below therefore provides the maximum NR levels for services noise which each of the spaces in this development such to comply with BS8233 and BREEAM. It is considered that the M&E Engineer is responsible of ensuring their design does not exceed these values. These values have been assigned to each room within Table 5.1.

Room Type	Building Services Noise Limit
Open plan offices	NR40
Cellular Offices	NR30
Conference Room	NR30
Meeting Room	NR30
Entrance Lobbies	NR40
Circulation	NR40
Toilets	NR45
Loading Bays	NR55
Underground Car Parks	NR55

Table 3.2: BCO Building Services Noise Targets

4.0 SOUND INSULATION OF PARTITION

4.1 Sound insulation and privacy

Sound Insulation

Sound insulation describes the reduction in sound across a partition. The sound insulation across a good conventional, lightweight, office to office construction is typically in the order of 38 dB D_w . This means that if the sound level in the source room is around 65 dB, (a typical level for speech) the sound level in the adjacent room, the receiver room, will be approximately 25 dB (barely audible). If sound levels are increased in the source room to 75 dB (raised voice), sound levels within the adjacent room will also increase to around 30 dB (audible). Sound insulation therefore describes the level of sound lost across a partition and not the level of sound within an adjacent room.

Privacy

Privacy describes the perceived sound reduction across a wall. Privacy is a function of both sound insulation and background noise. As mentioned previously, background noise is made up of services noise and environmental noise sources breaking in through the facade or open windows, vents etc.

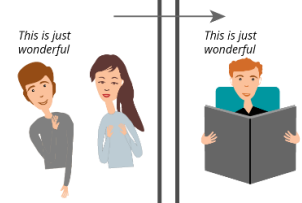
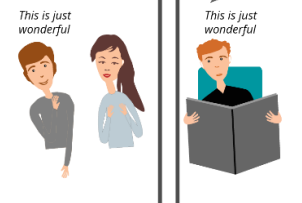
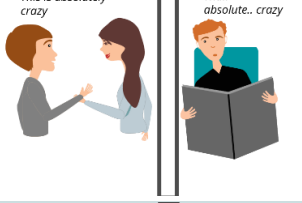
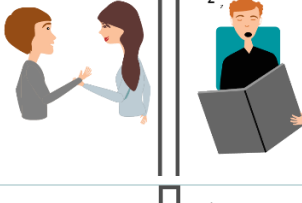
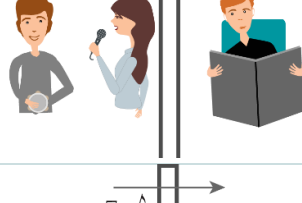

If background noise levels in the room are in the region of 30 dB, with the speech passing through the wall being 25 dB, there will be less than a 10 dB difference between the background noise and speech. This means that the speech will be detectable. However if the background noise is increased to 35 dB, then the speech will no longer be detectable, thus privacy levels are increased.

Subjective Description of Sound Insulation

The table to the right provides an illustrative representation of privacy. This table specifies two D_w levels for a partition, Column 1. One for background noise levels in the receiver room of 35 dBA¹, and the second for background noise levels of 40 dBA².

Summary

The targets currently suggested in the following sections are aimed at ensuring appropriate levels of privacy/separation are achieved between rooms. Using a suggested classification with set privacy, tolerance and sensitivity levels have produced the specification. These are presented in Appendix A and B, it is advised these are reviewed by the design team and client.

D_w	Subjective Description	
30 dB ¹ 25 dB ²		Most sentences clearly understood.
40 dB ¹ 35 dB ²		Speech can be heard with some effort. Individual words and occasional phrases.
50 dB ¹ 45 dB ²		Loud speech can be heard with some effort. Music easily heard.
60 dB ¹ 55 dB ²		Loud speech essentially inaudible. Music heard faintly; bass note disturbing.
70 dB ¹ 65 dB ²		Loud music heard faintly, which could be a problem if the adjoining space is highly sensitive to sound intrusion, such as recording studio, concert hall, etc.
75 dB ¹ >70 dB ²		Most noises effectively blocked.

1 = High ambient noise level of 40 dBA

2 = Low ambient noise level of 35dBA

Table 3.1. Subjective Description of Sound Insulation

4.2 Acoustic Separation Across Existing Partitions

Partitions are required to achieve an airborne sound insulation level as quoted in terms of the weighted, DnTw between two rooms, according to BS8233:2014. However, DnTw is very similar to Dw and will be assumed to be comparable for this report.

4.2.1 President's Office to Meeting Room (Also T6 Meeting to T4 Meeting)

Existing Construction

This wall was tested on site and **achieved 23dB Dw**. This is a poor performance and considered to not be suitable for most cellular office uses. As seen on the table to the right it is considered that conversations will be heard clearly between these spaces.

Remedial Treatment

Improvements could be made to this wall, such as;

- Install a double banked, 50mm foil faced fire barrier, such as the Rockwool Fire Barrier Foil Faced from the head of the wall to the soffit along the whole perimeter of the room. Approximately 40mm gap between each barrier
- Install 50mm Rockwool Fire Barrier Slab at partition line under raise floor.
- Installed silicon seals around the glass door edge.

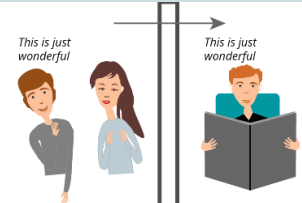
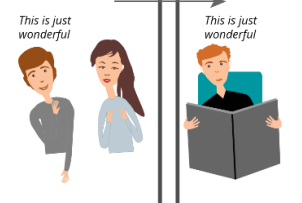
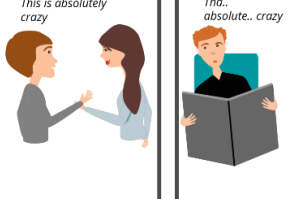
The above treatment is expected to improve the acoustic performance to approximately **35dB Dw**., therefore it is expected that the resulting performance will be somewhere between the first to rows shown in the table to the right.

Risks with this prediction are that the wall construction is unknown and will limit the possible performance, the single glazed section will limit what is possible. Ventilation grilles straddle over the top of walls and need to be removed / blocked.

New Construction

If any level of privacy is required it is advise that an acoustic performance of at least 45 to 50dB Dw is achieved. If confidentiality is required an increase on the below description is required;

- New wall achieving 55dB Rw, built up to underside of slab. (50dB Rw for T6 to T4)
- Ideally built from structural floor, alternative may be two 50mm fire cavity barriers.
- Internal lining of façade to be broken and partition wall built into cavity.
- 45dB Rw corridor wall / glazing. if using a glazing system, use separate frame and system either side of partition.
- Door rated to at least 30dB Rw, ideally 35dB Rw.

D _w	Subjective Description	
30 dB ¹ 25 dB ²		Most sentences clearly understood.
40 dB ¹ 35 dB ²		Speech can be heard with some effort. Individual words and occasional phrases.
50 dB ¹ 45 dB ²		Loud speech can be heard with some effort. Music easily heard.

1 = Low ambient noise level of 35dBA

2 = High ambient noise level of 40 dBA



Figure 4.1: Images of Presidents office, ventilation grille straddling

4.2.2 RCOG Meeting Rooms

Meeting rooms MT44 to 48 on the first floor are intended to be left untouched. They are the better performing meeting rooms, key benefits are;

- Glass front is split by partition wall.
- Better doors and frames
- Ceiling plasterboard was butted up to either side of partition, not continuous.

Speech could be heard but words were not clear and could not be understood. The acoustic separation between these meeting rooms is in the region of 40+dB Dw. These are considered to be acceptable for standard meeting rooms, where any improvements to be made will be very difficult to implement, since the wall would need to go to soffit and floor barriers included.



Figure 4.2: First Floor RCOG Meeting Rooms

4.2.3 T21 Meeting Room

This meeting room on the third floor is understood to have a solid partition in addition to a folding wall partition, which separates the space with T20 Breakout. These partitions are understood to not go full height and will be more like a screen and open at the top.

If this is to be taken forward, the acoustic separation between two spaces will be in the region of 20 to 25 dB Dw, this is based upon the ceiling having a high absorbency, such as Class A and not plasterboard. This is likely to not be acceptable if the 300 seat Meeting Hall decanted into the break out space, while T21 was used independently. It is therefore considered that a managed approach is used for this room, where it is possible that the proposed partitions will be acceptable when the Meeting Hall and breakout is not being used, since this area would be un-occupied and noise intrusion would be minimal.

If ceilings are introduced such that the space can be a fully cellular space, the solid partition, would be advised to have a rating of 45dB Rw, Door 35dBA, folding wall 55dB Rw. Note; the folding wall will provide an onsite performance of approximately 40 to 45dB Dw. Moving the single leaf door may also be worth considering.

D _w	Subjective Description
30 dB ¹ 25 dB ²	<p>Most sentences clearly understood.</p>
40 dB ¹ 35 dB ²	<p>Speech can be heard with some effort. Individual words and occasional phrases.</p>
50 dB ¹ 45 dB ²	<p>Loud speech can be heard with some effort. Music easily heard.</p>

1 = Low ambient noise level of 35dBA
2 = High ambient noise level of 40 dBA

Table 4.1: Description of sound insulation values

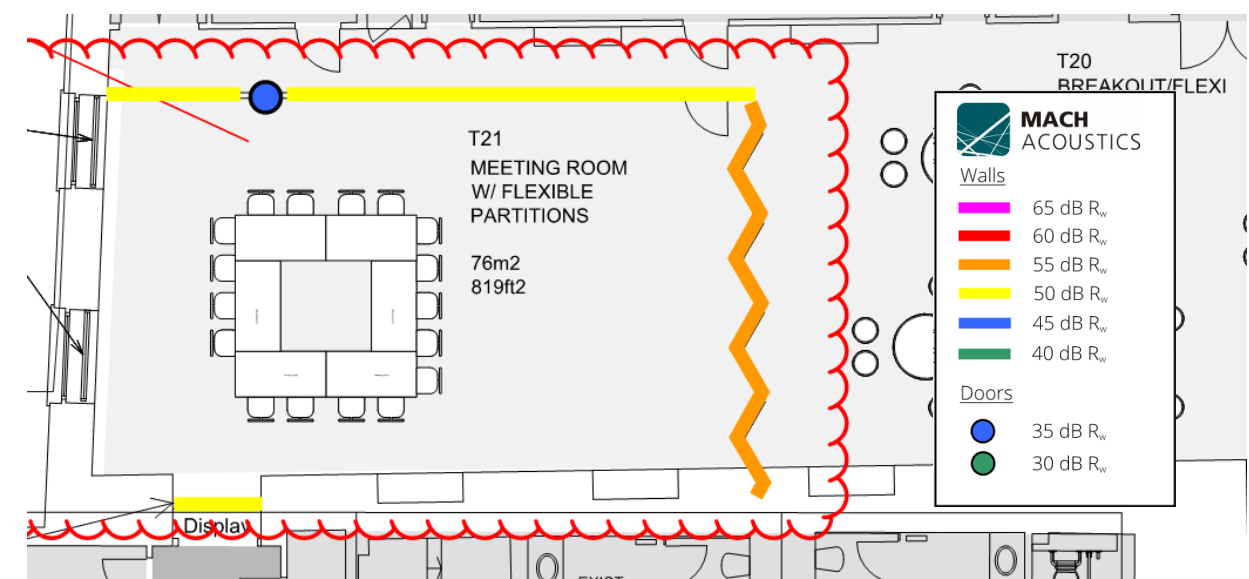


Figure 4.3: Advise wall partition performance if T21 is cellular.

4.2.4 Plant Room

The Plant room on the first floor is understood to include an AHU, other equipment may also be included.

At this stage it is advised that the wall separating the plant room achieved 60dB R_w , and that a Lobbied door is included. Based upon this design it is considered that the plant room should not exceed a noise rating level of NR55. If the M&E Engineer cannot achieve this, Mach should be informed where further advice can be provided.

Flanking via the roof and floor requires further analysis, where at this stage it is recommended that a plasterboard ceiling is included within the plant room to mitigate sound flanking over the ceiling. This should consist of two layers of plasterboard and 100mm mineral wool laid on top in the ceiling void.

Flanking via the floor will be difficult to control and will require further analysis. Options may be to increase the mass by installing a thick screed board or similar and investigation to see if mineral wool insulation is included within the floor joists.

Direct sound transmission through the floor to the office below also requires further consideration.

Based upon onsite sound tests the floor achieves 45 dB Dntw. Based upon the plant room noise limit suggested of NR55. The predicted noise level within the offices below is 40dBA. This is right at the limit of recommended internal noise levels for cellular offices / meeting rooms. And leaves no head room for noise from other building services. We would typically recommend that noise intrusion from plant rooms is 10dB below the recommended internal ambient noise level criteria. This may require a screed board as described above in addition to further work on the ceilings below. Further design development is required.

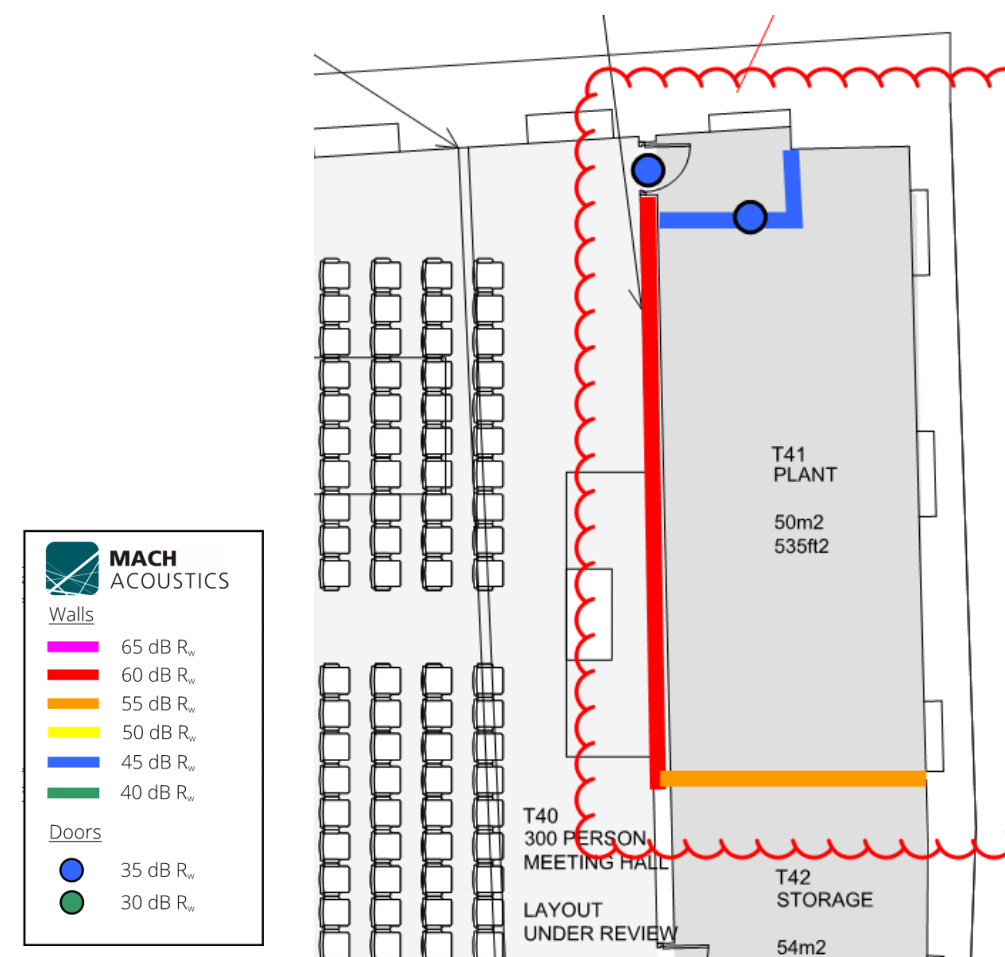


Figure 4.4: Plant Room Wall partitions

4.3 Onsite Sound Insulation Requirements

Table 4.1 provides a summary of the sound insulation requirements for office and ancillary spaces, that is currently being advised. The sections preceding this may provide the client and design team further information such that these may change. Floor plan mark-ups are also provided within the appendix.

Such to meet the required on-site sound insulation levels, the lab rated sound insulation levels R_w of partitions are also given in Table 4.1. The R_w levels are not seen to be mandatory, but if built correctly will meet the required on site sound insulation, $D_{nT(Tmf,max),w}$, levels.

The minimum sound reduction index for all new partitions that are not marked up on the acoustic requirement drawings in Appendix A are 45 dB R_w .

4.4 Corridor Walls & Doors

Walls separating office space from circulation space and corridors should have a minimum airborne sound insulation performance of 40dB R_w and the door achieving a performance of 30dB R_w .

However, where doors lead to break-out spaces, these will be higher noise environments and therefore a 5dB increase is recommended to 45dB R_w for walls and 35dB R_w for doors.

4.4.1 Minimising wall types

It has been requested to minimise the number of wall types, the difference in construction of a 40dB wall to a 45dB wall is typically the addition of acoustic insulation in the cavity. We have therefore typically used 45dB R_w for these walls.

Room 1	Room 2	Privacy Requirement	Noise Sensitivity	Minimum On-site Requirement $D_{nT(Tmf,max),w}$ (dB)	Calculated SRI for partition R_w (dB)	Simplified SRI for partition R_w (dB)
GROUND FLOOR						
G4 Café	G6 Meeting Room	None	Not Sensitive	42	53	60 Increased due to cupboard impact
G6 Meeting Room	G7 Members Lounge	Moderate	Medium Sensitivity	37	48	50
G7 Members Lounge	G8 Multi-Faith Room	Moderate	Medium Sensitivity	42	49	50
G9 Kitchen/Delivery Route	G8 Multi-Faith Room	Moderate	Sensitive	57	64	65
G9 Kitchen/Delivery Route	G7 Members Lounge	Moderate	Sensitive	52	55	55
FIRST FLOOR						
F6 Meeting Room	F7 Meeting Room	Moderate	Medium Sensitivity	42	53	55
F7 Meeting Room	F8 Meeting Room	Moderate	Medium Sensitivity	42	48	50
F8 Meeting Room	F9 Meeting Room	Moderate	Medium Sensitivity	42	52	55
SECOND FLOOR						
S6 Meeting Room	S7 Meeting Room	Moderate	Medium Sensitivity	42	53	55
S7 Meeting Room	S8 Meeting Room	Moderate	Medium Sensitivity	42	48	50
S8 Meeting Room	S9 Meeting Room	Moderate	Medium Sensitivity	42	53	55
THIRD FLOOR						
T4 Office	T6 Office	Moderate	Medium Sensitive	42	49	50
T5 Pres Office	T3 Meeting	Moderate	Sensitive	47	55	55
T40 300 Person Meeting Hall	T41 Plant	Moderate	Sensitive	50	60	60
T40 300 Person Meeting Hall	T43 AV Store	Moderate	Sensitive	37	46	50
BASEMENT						
B21 Simulation Room	B18 Seminar Room	Moderate	Medium Sensitivity	37	44	45

Table 4.2: Calculated R_w Requirements for Separating Partitions

4.5 Wall Constructions

4.5.1 Lightweight Metal Stud Wall Constructions

Table 4.2 provides a range of example constructions that are capable of achieving different R_w requirements. Please note that the constructions provided in Table 4.2 are based on data published by British Gypsum, hence a BG reference is provided for these partitions. The list is not exhaustive and other manufacturers can provide a similar systems. Other construction types are also capable of achieving the required performance standards.

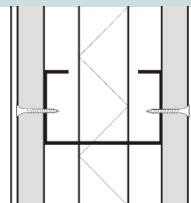
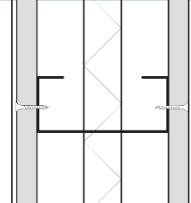
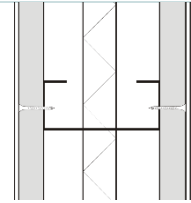
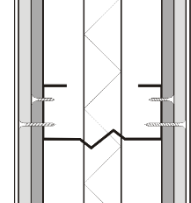
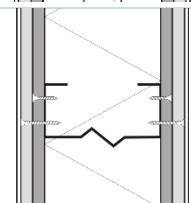
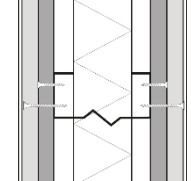
id	R_w Rating	Reference	Illustration of Construction	Description	Thickness (mm)
1	40dB R_w	A206A164		<ul style="list-style-type: none">12.5mm Wallboard70mm Metal Studs at 600mm Centres50mm Cavity Insulation12.5mm Wallboard	97
2	45dB R_w	A206305S		<ul style="list-style-type: none">12.5mm SoundBloc92mm Gypframe C Studs25mm Cavity Insulation12.5mm SoundBloc	124
3	50dB R_w	A206263		<ul style="list-style-type: none">15mm SoundBloc92mm Gypframe C Studs50mm Cavity Insulation15mm SoundBloc	124
4	55dB R_w	A206A289S		<ul style="list-style-type: none">2 x 12.5mm SoundBloc92mm Gypframe AcouStuds25mm Cavity Insulation2 x 12.5mm SoundBloc	144
5	60dB R_w	A206A292S		<ul style="list-style-type: none">2 x 12.5mm SoundBloc92mm Gypframe AcouStuds100mm Cavity Insulation2 x 12.5mm SoundBloc	144
6	64dB R_w	A216011S		<ul style="list-style-type: none">2 x 15mm SoundBloc92mm Gypframe AcouStuds75mm Cavity Insulation2 x 15mm SoundBloc	250

Table 4.3: Metal Stud Wall Constructions and Corresponding R_w Ratings

Please note marked up drawing of the above information is provided in appendix A at the end of this document.

If the number of partition types need to be reduced or alternative partition are preferred MACH are more than happy to review these options.

4.6 Glazing

Table 4.4 below provides examples of glazing configurations that can achieve varying levels of sound insulation.

R_w Rating	Description
35 dB R_w	4 (20) 6 Standard
40 dB R_w	6 (27) 10 Standard
45dB R_w	10 (16) 8.4A Acoustic
50dB R_w	8.8A (24) 12.8A Acoustic

Table 4.4: Glazing Configurations and Corresponding R_w Ratings

Please note that the performances stated are taken from data provided by Saint Gobain. The performance of the glazing products to the stated rating is therefore the responsibility of the manufacturer.

4.7 Movable Partitions

The movable walls should achieve at least 55 dB R_w . Although this performance will not achieve high sound insulation criteria, i.e. that between two classrooms, it will still provide a good level of noise reduction between the two spaces.

It is expected that the moveable walls will achieve in the region of 40 to 45 dB D_w . This is due to their inherent flanking sound limitations. Any higher performance required will require a standard partition construction.

4.8 Toilet Partitions

It is recommended that any partition separating a toilet from a noise sensitive room should have an airborne sound insulation of at least 45 dB R_w .

4.9 Sound Insulation - Floors

At this stage, the acoustics performance of the floors and ceilings are not known and are understood not to be undergoing considerable change. However, based upon the required privacy levels for the office spaces above, the table below provides the required acoustic performance of the separation floor between offices spaces.

ID	Room 1	Room 2	Minimum On-site Requirement $D_{nT(Tmf,max)}w$ (dB)	Calculated SRI for partition R_w (dB)
1	B21 Simulation Room	G7 Members Lounge	37	46
2	B18 Seminar Room	G6 Meeting Room	37	46
3	B17 Delivery Holding	G4 Café	37	44
4	B13 Toilet	G4 Café	37	46
5	F9 Meeting Room	G18 Male WCs	37	46
6	F9 Meeting Room	G9 Kitchen/Delivery Route	52	57
6	F9 Meeting Room	G12 Reading Room/Heritage Display	47	54
7	F8 Meeting Room	G9 Kitchen/Delivery Route	52	58
8	F8 Meeting Room	G8 Multi-Faith Room	47	56
9	F8 Meeting Room	G7 Members Lounge	42	44
10	F7 Meeting Room	G7 Members Lounge	42	49
11	F6 Meeting Room	G6 Meeting Room	37	46
12	F4 Meeting Room	G4 Café	42	48
13	F5 Surgical Skills Storage	G4 Café	37	46
14	S9 Meeting Room	F9 Meeting Room	42	51
15	S8 Meeting Room	F8 Meeting Room	42	51
16	S7 Meeting Room	F7 Meeting Room	42	52
17	S6 Meeting Room	F6 Meeting Room	37	46
18	S5 Surgical Skills Storage	F5 Surgical Skills Storage	-	-
19	S4 Meeting Room	F4 Meeting Room	42	51
20	T1 RCOG Offices	S9 Meeting Room	42	43
21	T1 RCOG Offices	S8 Meeting Room	42	46
22	T1 RCOG Offices	S7 Meeting Room	42	47
23	T1 RCOG Offices	S6 Meeting Room	37	46
24	T1 RCOG Offices	S4 Meeting Room	42	46

Table 4.4: Calculated R_w Requirements for Separating Floors

5.0 REVERBERATION TIME

5.1 Reverberation Targets

The most onerous performance targets associated with reverberation control within the development are those as given within BS8233:2014. However, BS8233:2014 does not provide reverberation time targets for any room classification. Instead they provide a design ethos as described in Section 2.2.3.

Table 5.1 to the right indicates each room and the currently agreed ceiling finish, those in green are considered to have acceptable acoustic treatment and would meet the BREEAM requirement.

However, those rooms in orange text are intending to have an exposed concrete soffit. This is not immediately conducive to good acoustics and so a more detailed calculated assessment will be carried out. see Section 5.3.

As only open plan offices have reverberation guidance under BS 8233: 3014 and BCO 2014, BB93 has been used as an additional guidance to control reverberation time in other rooms.

5.2 Corridors and Circulation Spaces

As above, for circulation spaces, a level of absorption is recommended to mitigate any noise build-up, and reduce noise break in, to adjacent spaces. Mach would have recommended as a minimum, an area equal to the floor area should be covered with a Class C absorber or better. Should a higher performing absorber be preferred, then MACH Acoustics should be consulted in regard to the required areas.

No.	Room Name	Ceiling	Building Services Noise Limit
TBC	Seminar Room	Class A Ceiling Tile	NR35
B21	Simulation Room	Class A Ceiling Tile	NR35
G11	Heritage Display	Class A Ceiling Tile	NR38
G12	Reading Room/Heritage Display	Class A Ceiling Tile	NR38
G2	Courtyard Atrium	See Report	NR40
G4	Café	Class A Ceiling Tile	NR38
G6	Meeting Room	Class A Ceiling Tile	NR35
G7	Members Lounge	Class A Ceiling Tile	NR35
G8	Multi-Faith Room	Class A Ceiling Tile	NR35
F44	MTG ROOM	Class A Ceiling Tile	NR35
F45	MTG ROOM	Class A Ceiling Tile	NR35
F46	MTG ROOM	Class A Ceiling Tile	NR35
F47	MTG ROOM	Class A Ceiling Tile	NR35
F48	MTG ROOM	Class A Ceiling Tile	NR35
F40	RCOG Offices	Class A Ceiling Tile	NR40
F20	RCOG Offices	Plasterboard	NR40
F4	Meeting Room	Exposed Conc.	NR35
F6	Meeting Room	Exposed Conc.	NR35
F7	Meeting Room	Exposed Conc.	NR35
F8	Meeting Room	Exposed Conc.	NR35
F9	Meeting Room	Exposed Conc.	NR35
S1	Breakout	Class A Ceiling Tile	NR38
S4	Meeting Room	Exposed Conc.	NR35
S6	Meeting Room	Exposed Conc.	NR35
S7	Meeting Room	Exposed Conc.	NR35
S8	Meeting Room	Exposed Conc.	NR35
S9	Meeting Room	Exposed Conc.	NR35
S20	RCOG Office	Plasterboard	NR35
T1	RCOG Offices	Class A Ceiling Tile	NR40
T3	Meeting Room	Class A Ceiling Tile	NR35
T6	Office	Class A Ceiling Tile	NR35
T4	MTG Room	Class A Ceiling Tile	NR35
T40	300 Person Meeting Hall	Autex Cube ceiling Wool surge curtain rear wall See Meeting Hall Report	NR30
T5	Pres Office	Class A Ceiling Tile	NR30
T21	Meeting Room	Class A Ceiling Tile	NR35
T20	Breakout	Class A Ceiling Tile	NR38

Table 5.1: Reverberation Treatment and Plant Noise Rating Requirements

5.3 Conference Rooms with Exposed Soffit

The rooms presented in this section are conference / meeting rooms which have an architectural requirement to expose the coffered concrete soffit.

There are two possible methods to limit the impact of acoustic treatment;

- Install acoustic foam cut to the profile of the soffit with an adhesive backing, 50mm thickness should achieve Class A. – This method is not a typical approach and require further design input.
- Include acoustic absorption on the folding wall. This could include;
 - Perforated Board – Class D
 - Acoustic foam with material finish – Class C
 - Such products are available for Accordial Wall systems, possibly others.

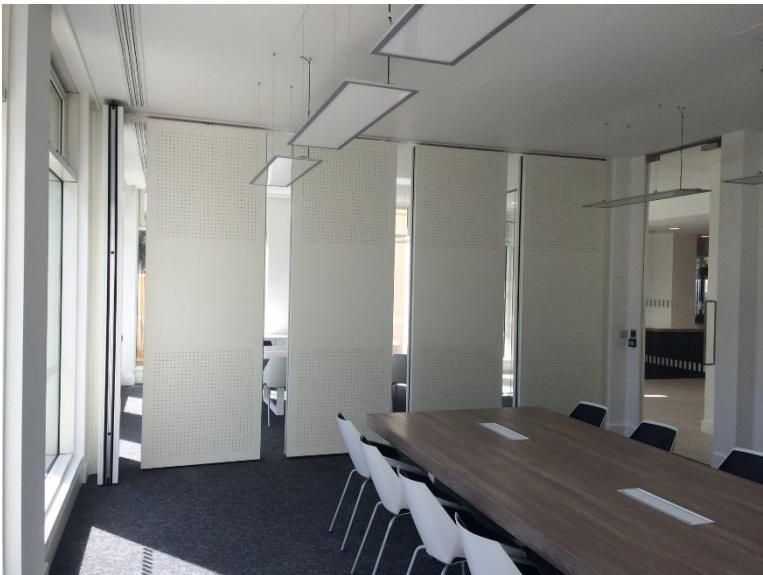
The table to the right looks at each room and provides the results of calculations which have accounted for;

- Lightly upholstered seats
- Carpet floor finish
- Acoustic treatment on the folding walls
 - No treatment
 - Class D
 - Class C
- Additional Class A Treatment (acoustic foam) in order to achieve target RT (Last Column)

Note; The target RT of 0.8s is ideal, however, 1.0 seconds could be an acceptable compromise. This suggested that treatment on the folding wall may suffice, with no further treatment on the soffit.

Room	Folding Partition	Area (m2)	Lightly Upholstered Seating Area (m2)	Reverberation Time (s)		Additional Treatment to achieve 0.8s(m2) Class A
	Absorption			Targeted	Calculated	
F4 & S4 Lecture Room	Class C	27	47	0.8	0.8	0
	Class D				1.0	14
	No Absorption				1.1	24
F6 & S6 Meeting Room	Class C	15	5	0.8	0.8	0
	Class D				1.0	6
	No Absorption				1.4	10
F7 & S7 Meeting Room	Class C	15	5	0.8	1.0	5
	Class D				1.2	10
	No Absorption				1.5	15
F8 & S8 Lecture Room	Class C	27	22	0.8	0.7	0
	Class D				0.9	4
	No Absorption				1.1	12
F9 & S9 Lecture Room	Class C	28	34	0.8	0.8	0
	Class D				1.0	11
	No Absorption				1.1	21

Table 5.2: Lecture Room RT summary



Perforated Folding Wall – Class D



Foam with material finish – Class A



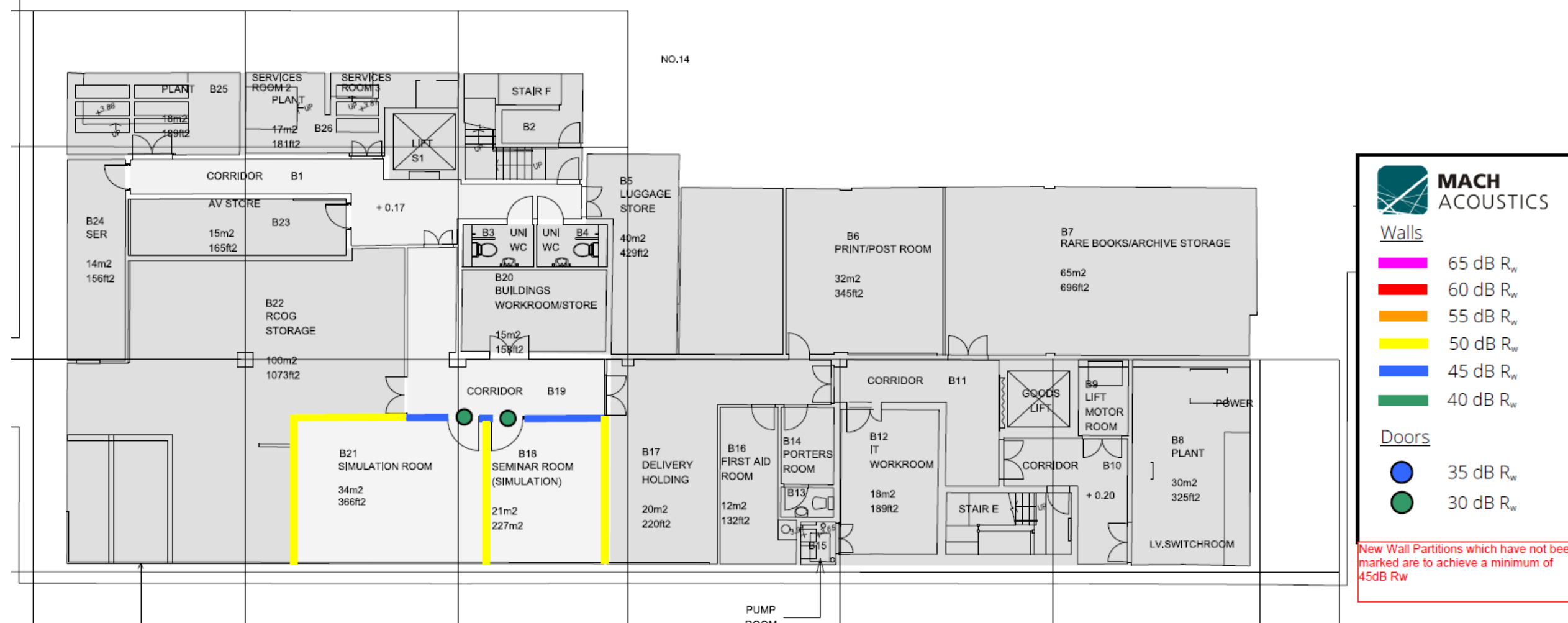
Foam to metal deck – Class A



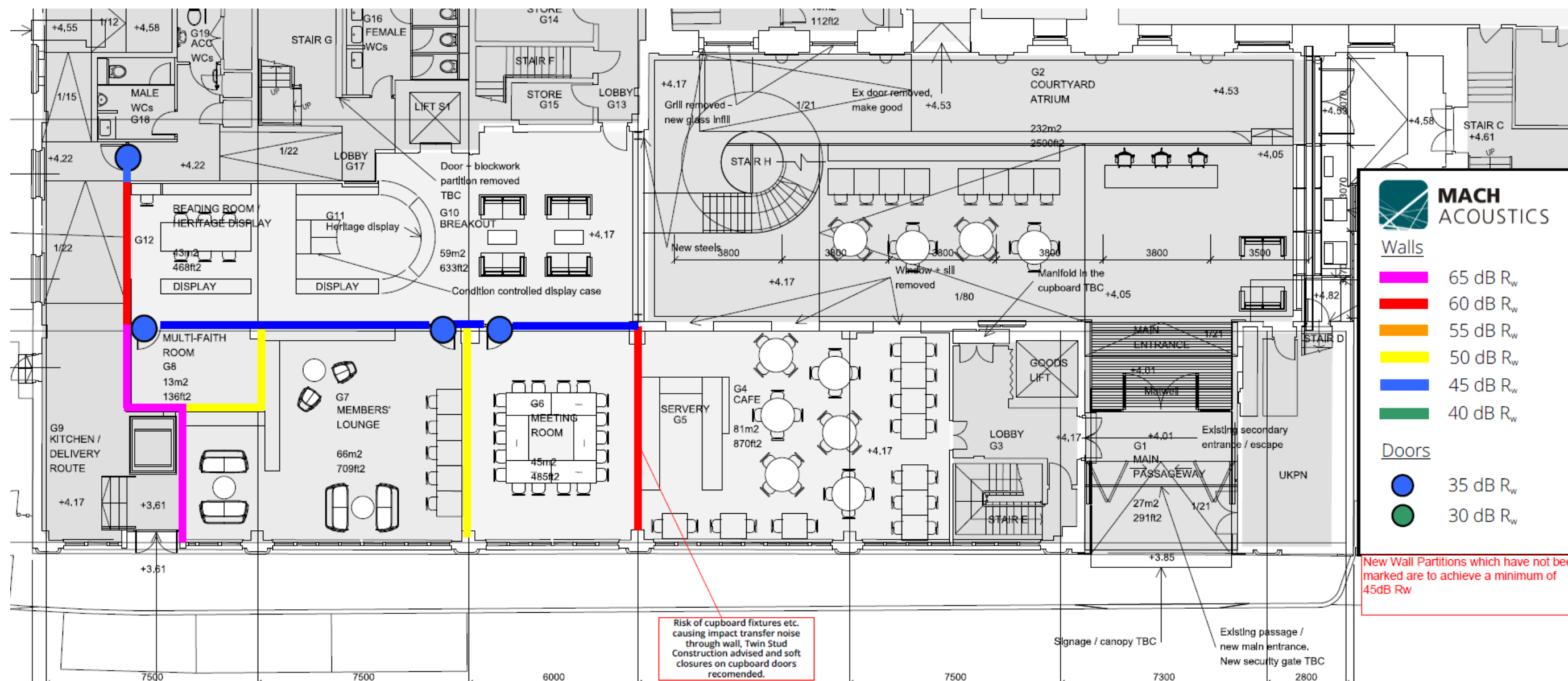
Slotted folding wall panel – Class D

APPENDIX A - SOUND INSULATION MARK UPS

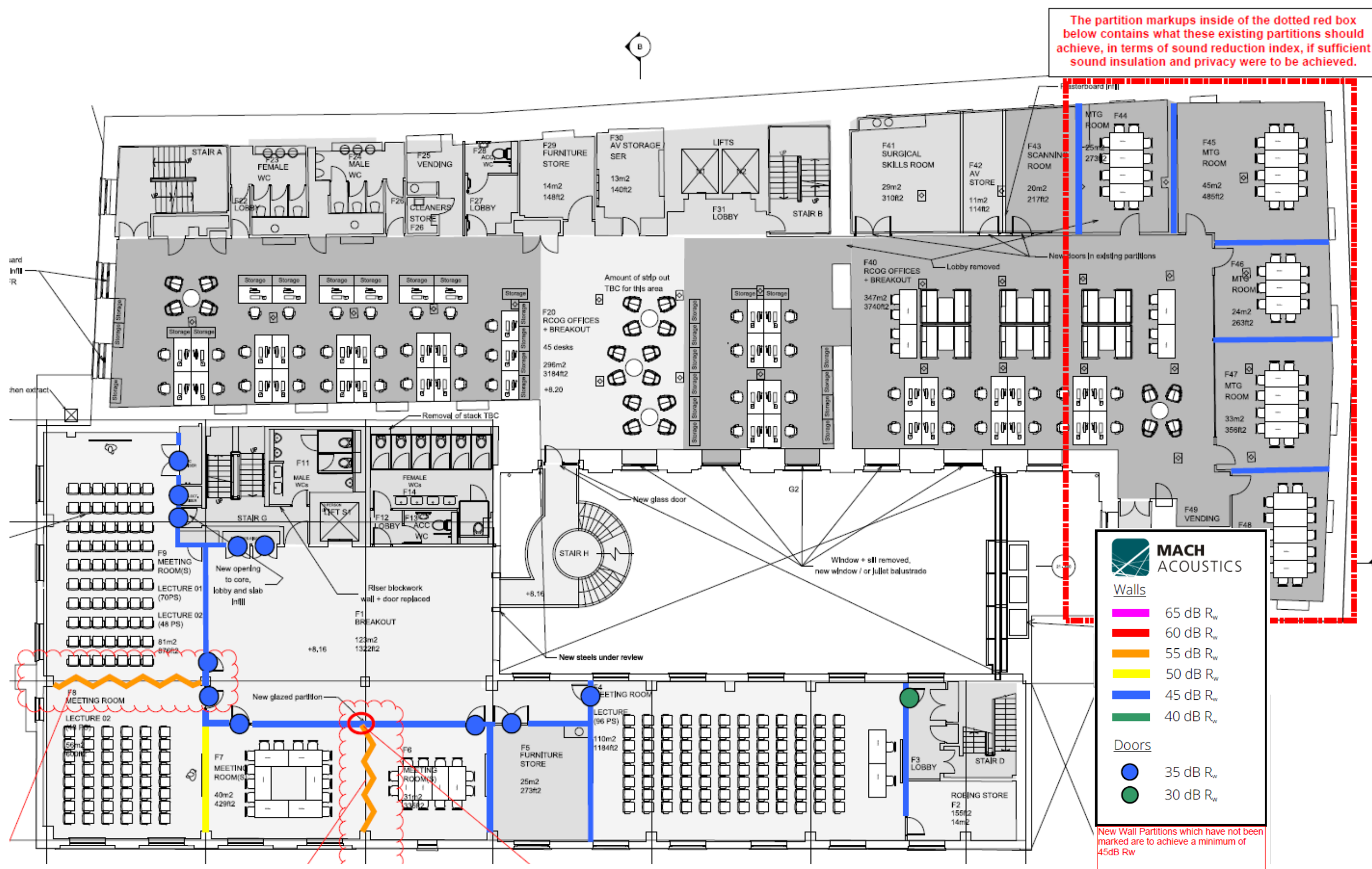
Basement



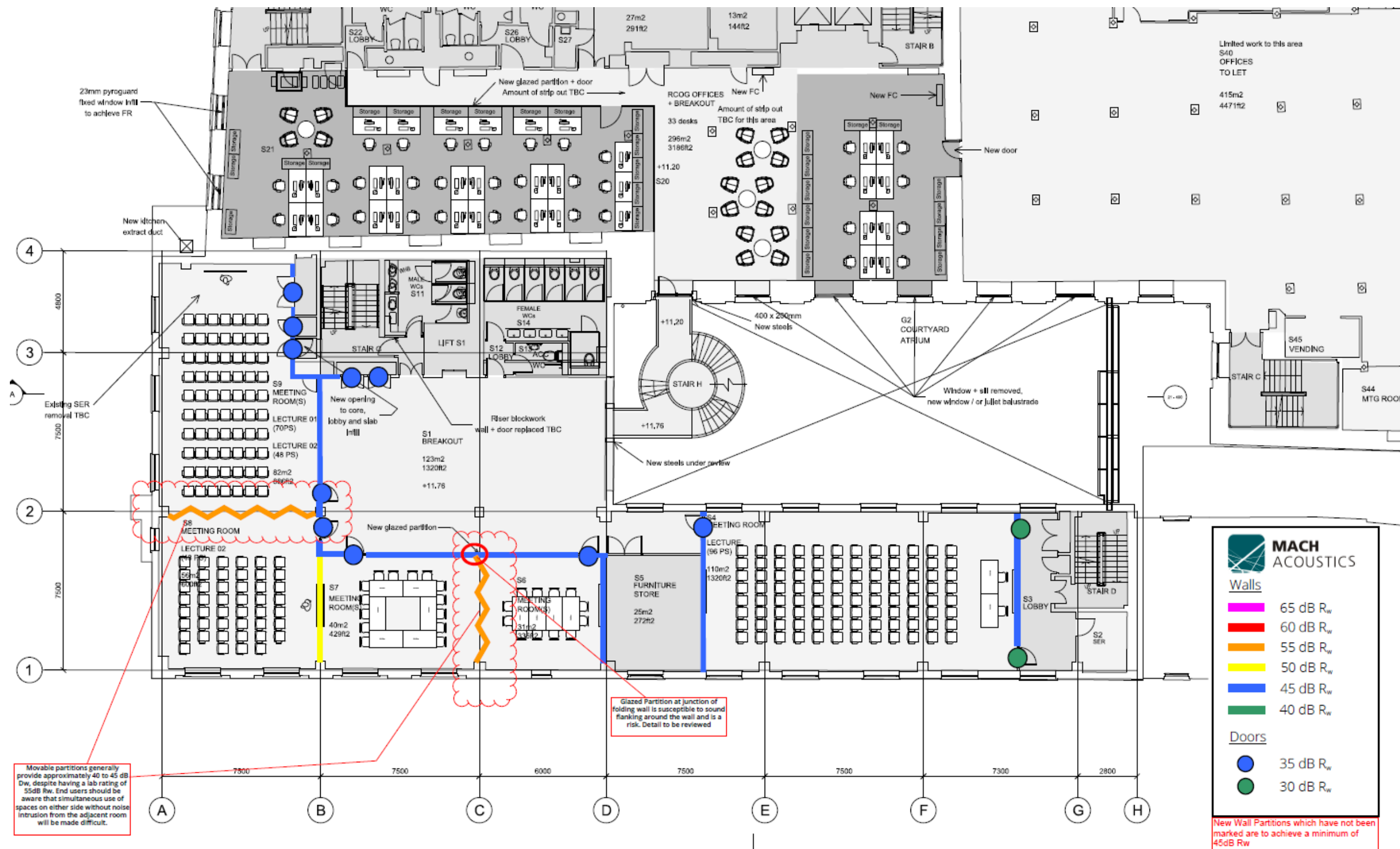
Ground Floor



First Floor



Second Floor



APPENDIX B - BRITISH COUNCIL FOR OFFICES 2014

The information below is for reference only, since the guidance in BS8233 has been used throughout this document.

The guidance provided by the British Council for Offices 2014 (BCO), is such to control noise and vibration levels to the benefit of all, as noise levels within the workplace affect people's ability to concentrate and productivity. BCO focuses on the following main areas; internal ambient noise levels; natural ventilation; rain noise; sound insulation; reverberation times; and plant noise limits. More in-depth information on the areas pertaining to this development can be found in the following sections.

5.3.1 Sound Insulation

Sound level difference vertically between individual office floors should be at least $D_{nT,w}$ 45 dB at shell and core stage, or at least $D_{nT,w}$ 48 dB if fitted to Cat A standards when tested, in accordance with BS EN IS 140-4: 1998, and rated, in accordance with BS EN 717-1:1997. Demise walls, such as those to retail or other office borders, should achieve this difference as well. Note, the degree of privacy between spaces will be determined by the levels of masking noise and the internal sound insulation between partitioned areas.

5.3.2 Reverberation Control

To control unwanted primary noise reflections and the reverberant build-up of sound, BCO 2014 requires all open plan offices to include a ceiling that provides Class A Absorption. If the space is to have no ceiling, then additional absorptive treatment is required to achieve 'an equivalent standard of acoustic separation/privacy between work stations.

BCO also states that carpet floor finishes are desirable to aid reverberation and reduce impact noise from footfall. Hard floor finishes should be avoided in office areas.

APPENDIX C - ACOUSTIC TERMINOLOGY

Absorption Classes	The sound absorption of a material is rated from Class A to Class E, where Class A materials provide the highest levels of sound absorption.
Ambient Noise Levels	Noise levels measured in the absence of noise requiring control, frequently measured to determine the situation prior to the addition of a new noise source.
dB	Decibel. The logarithmic unit of sound level.
dBA	A-weighted decibel. The A-weighting approximates the response of the human ear.
$D_{nT,w}$	Weighted standardized level difference. A single number quantity of the sound level difference between two rooms. $D_{nT,w}$ is typically used to measure the on-site sound insulation performance of a building element such as a wall, floor or ceiling. Measured in accordance with BS EN ISO 16283-1 and weighted in accordance with BS EN ISO 717-1.
$D_{n,e,w}$	The weighted element-normalized level difference. A single number rating of the sound reduction provided by a sound passing through an individual element. $D_{n,e,w}$ is typically used to define the sound insulation provided by ventilators. Measured in accordance with BS EN ISO 10140-2:2010 and rated in accordance with BS EN ISO 717-1.
Flanking	Transmission of sound energy through paths adjacent to the building element being considered. For example, sound may be transmitted around a wall by travelling up into the ceiling space and then down into the adjacent room.
Frequency	Sound can occur over a range of frequencies extending from the very low, such as the rumble of thunder, up to the very high such as the crash of cymbals. Sound is generally described over the frequency range from 63Hz to 4kHz, roughly equal to the range of frequencies on a piano.
Impact Sound	Sound produced by an object impacting directly on a building structure, such as footfall noise or chairs scrapping on a floor.
$L_{Aeq,t}$	The equivalent continuous sound level measured in dBA. This is commonly referred to as the average noise level. "t" is the interval time for the measurement which is most often 30 minutes when demonstrating compliance with BB93.
$L_{A90,t}$	The noise level exceeded for 90% of the measurement period, measured in dBA. This is commonly referred to as the background noise level.
$L'_{nT,w}$	Weighted, standardized impact sound pressure level. A single number rating of the impact sound insulation of a floor/ceiling when impacted on by a standard 'tapper' machine. The lower the $L'_{nT,w}$, the better the acoustic performance. Measured in accordance with BBS EN ISO 140-7 and rated in accordance with BS EN ISO 717-2.
NR	Noise Rating. A single number rating which is based on the sound level in the octave bands 31.5Hz – 8kHz inclusive, generally used to assess noise from mechanical services in buildings.
Octave band	Frequencies are often grouped together into octaves for analysis. Octave bands are labelled by their centre frequency which are: 63Hz, 125Hz, 250Hz, 500Hz 1kHz, 2kHz and 4kHz.
Reverberation time (T_{mf})	Reverberation time is used for assessing the acoustic qualities of a space. It is defined as the time it takes for an impulse to decay by 60dB. T_{mf} is the arithmetic average of the reverberation time in the mid frequency bands (500Hz, 1k Hz and 2 kHz).
R_w	Weighted sound reduction index. A single number rating of the sound insulation performance of a specific building element. R_w is measured in a laboratory. R_w is commonly used by manufacturers to describe the sound insulation performance of building elements such as plasterboard and concrete. Measured in accordance with BS EN ISO 10140-2:2010 and rated in accordance with BS EN ISO 717-1
Sound Absorption	When sound hits a surface, some of the sound energy is absorbed by the surface material. Sound absorption refers to the ability of a material to absorb sound, rated from 0, complete reflection, to 1, complete absorption.
Sound Insulation	When sound hits a surface, some of the sound energy travels through the material. 'Sound insulation' refers to the ability of a material to prevent the travel of sound.
Structure-borne transmission	Transmission of sound energy as vibrations via the structure of a building.

APPENDIX D – CLASSIFICATIONS BASED UPON THE BS8233 MATRIX

BS8233: 2014 states that the following matrix should be used to determine the sound insulation requirement of separating partitions once the noise activity, noise sensitivity and privacy requirements are established.

Privacy Requirement	Activity noise of source room	Noise sensitivity of receiving rooms		
		Low sensitivity	Medium sensitivity	Sensitive
Confidential	Very high	47	52	57 *
	High	47	47	52
	Typical	47	47	47
	Low	42	42	47
Moderate	Very high	47	52	57 *
	High	37	42	47
	Typical	37	37	42
	Low	No rating	No rating	37
Not private	Very high	47	52	57 *
	High	37	42	47
	Typical	No rating	37	42
	Low	No rating	No rating	37

* D_{nT,w} 55dB or greater is difficult to obtain on site and room adjacencies requiring these levels should be avoided wherever practical

Table 6.3 : BS8233:2014 Table 3 on-site sound insulation matrix, (dB D_{nT,w})

Classification	Privacy Requirements	Noise Generation	Noise Sensitivity
Single-person office	Moderate	Typical	Medium Sensitivity
Executive office	Moderate	Typical	Medium Sensitivity
Multi-person office (2-4 people)	Moderate	Typical	Medium Sensitivity
Open-plan office (≥5 people)	None	Typical	Medium Sensitivity
Boardroom	Confidential	High	Medium Sensitivity
Large meeting rooms (>35 m² floor area)	Moderate	High	Medium Sensitivity
Small meeting rooms (≤35 m² floor area)	Moderate	Typical	Medium Sensitivity
Interview room	Confidential	Typical	Medium Sensitivity
Large training/seminar (>35m²)	Moderate	High	Medium Sensitivity
Small training/seminar (≤35m²)	Moderate	Typical	Medium Sensitivity
Lecture Theatre	Moderate	High	Sensitive
Library/archiving room	Moderate	Low	Sensitive
Counselling	Confidential	High	Medium Sensitivity
Nurseries	Moderate	Very High	Medium Sensitivity
Multi-faith/chapel	Moderate	High	Sensitive
Waiting (large > 20 people)	None	High	Not Sensitive
Waiting (small ≤ 20 people)	None	Typical	Not Sensitive
Atrium	None	High	Not Sensitive
Dining	None	High	Not Sensitive
Toilets (not cubicles)	Moderate	Typical	Not Sensitive
changing room	Moderate	Typical	Not Sensitive
Corridor (no door)	None	Typical	Not Sensitive
Large kitchen	None	Very High	Not Sensitive
Small kitchenette	None	Typical	Not Sensitive
N/A - Storeroom	None	Low	Not Sensitive
N/A - Plant	None	High	Not Sensitive
N/A - Electrical plant	None	Typical	Not Sensitive
Sensitive Multi-person office (2-4 people)	Moderate	Typical	Sensitive
Satellite Equipment Room	None	Low	Not Sensitive

Table 6.4 : Privacy Requirements, Noise Generation and Noise Sensitivity of BS833 Classifications

APPENDIX E – Room ID, Name and Information

Room	HTM Classification	Area (m2)	Height (m)
Basement			
B25 Plant	#Plant	18.00	2.92
B26 Services Room 2	Satellite Equipment Room	17.00	2.92
B24 Ser	Satellite Equipment Room	14.00	2.92
B23 AV Store	Storeroom	15.00	2.92
B3 Uni WC	Toilets (not cubicles)	3.60	2.92
B4 Uni WC	Toilets (not cubicles)	3.60	2.92
B5 Luggage Store	Storeroom	18.00	2.92
B6 Kitchen Store	Storeroom	18.00	2.92
B7 Print Room	Multi-person office (2-4 people)	101.00	2.92
B20 RCOG Storage	Storeroom	15.00	2.92
B22 RCOG Storage	Storeroom	99.00	2.92
B21 Simulation Room	Small meeting rooms (≤35 m² floor area)	29.00	2.92
B18 Seminar Room	Small meeting rooms (≤35 m² floor area)	26.00	2.92
B17 Delivery Holding	Storeroom	34.80	2.92
B16 Kitchen Waste Store	Storeroom	12.00	2.92
B14 Porters Room	Open-plan office (≥5 people)	5.40	2.92
B13 Toilet	Toilets (not cubicles)	2.30	2.92
B15 Store	Storeroom	1.40	2.92
B12 Bin Store	Storeroom	18.00	2.92
B9 Lift Motor Room	Storeroom	5.30	2.92
B8 Plant	#Plant	30.00	2.92
Ground Floor			
G1 Main Passageway	Atrium	33.00	2.92
G3 Lobby	Atrium	19.00	2.92
G4 Café	Dining	81.00	2.92
G6 Meeting Room	Multi-person office (2-4 people)	45.00	2.92
G7 Members Lounge	Multi-person office (2-4 people)	66.00	2.92
G9 Kitchen/Delivery Route	Large kitchen	21.00	2.92
G12 Reading Room/Heritage Display	Library/archiving room	47.00	2.92
G15 Store	Storeroom	4.20	2.92
G14 Store	Storeroom	7.10	2.92
G16 Female WCs	Toilets (not cubicles)	12.80	2.92
G18 Male WCs	Toilets (not cubicles)	7.80	2.92
G19 Dis WCs	Toilets (not cubicles)	3.80	2.92
G11 Heritage Display	Open-plan office (≥5 people)	36.50	2.92

Room	HTM Classification	Area (m2)	Height (m)
G10 Breakout	Atrium	56.00	2.92
G17 Lobby	Atrium	5.60	2.92
G2 Courtyard Atrium	Atrium	0.00	2.92
G8 Multi-Faith Room	Multi-faith/chapel	15.00	2.92
G15 Store	Storeroom	3.80	2.92
First Floor			
F2 Robing Room	Storeroom	9.00	2.92
F3 Lobby	Atrium	13.10	2.92
F4 Meeting Room	Large meeting rooms (>35 m² floor area)	110.00	2.92
F5 Surgical Skills Storage	Storeroom	25.00	2.92
F6 Meeting Room	Small meeting rooms (≤35 m² floor area)	31.00	2.92
F7 Meeting Room	Large meeting rooms (>35 m² floor area)	40.00	2.92
F8 Meeting Room	Large meeting rooms (>35 m² floor area)	56.00	2.92
F9 Meeting Room	Large meeting rooms (>35 m² floor area)	81.00	2.92
A/C Riser	#Plant	2.90	2.92
Elect. Riser	#Plant	0.90	2.92
New Services Riser	#Plant	1.00	2.92
F11 Male WCs	Toilets (not cubicles)	12.90	2.92
Services Riser C	#Plant	2.00	2.92
F12 Lobby	Atrium	2.30	2.92
F13 ACC WC	Toilets (not cubicles)	3.10	2.92
F14 Female WCs	Toilets (not cubicles)	21.40	2.92
Second Floor			
S2 Ser	Satellite Equipment Room	6.40	2.92
S3 Lobby	Atrium	19.30	2.92
S4 Meeting Room	Large meeting rooms (>35 m² floor area)	109.40	2.92
S5 Surgical Skills Storage	Storeroom	25.00	2.92
S6 Meeting Room	Small meeting rooms (≤35 m² floor area)	32.50	2.92
S7 Meeting Room	Large meeting rooms (>35 m² floor area)	38.00	2.92
S8 Meeting Room	Large meeting rooms (>35 m² floor area)	56.30	2.92
S9 Meeting Room	Large meeting rooms (>35 m² floor area)	89.40	2.92
S11 Male WCs	Toilets (not cubicles)	13.80	2.92
S14 Female WCs	Toilets (not cubicles)	21.60	2.92
S12 Lobby	Atrium	2.30	2.92
S13 Acc WC	Toilets (not cubicles)	3.70	2.92
Third Floor			
T2 Ser	Satellite Equipment Room	1.80	2.92
T3 Office	Single-person office	27.90	2.92
T1 RCOG Offices	Open-plan office (≥5 people)	366.00	2.92

Room	HTM Classification	Area (m2)	Height (m)
T4 MTG Room	Small meeting rooms (≤35 m² floor area)	13.70	2.92
T5 Pres Office	Multi-person office (2-4 people)	12.30	2.92
T6 Ser	Satellite Equipment Room	15.10	2.92
T9 Exist. Male WCs	Toilets (not cubicles)	11.50	2.92
T10 Lobby	Atrium	5.30	2.92
T11 Exist. Female WCs	Toilets (not cubicles)	11.70	2.92
T12 Acc. WC	Toilets (not cubicles)	7.00	2.92
T7 MTG Room	Small meeting rooms (≤35 m² floor area)	6.20	2.92
T8 MTG Room	Small meeting rooms (≤35 m² floor area)	6.20	2.92

MAIN HALL CATERING AREA

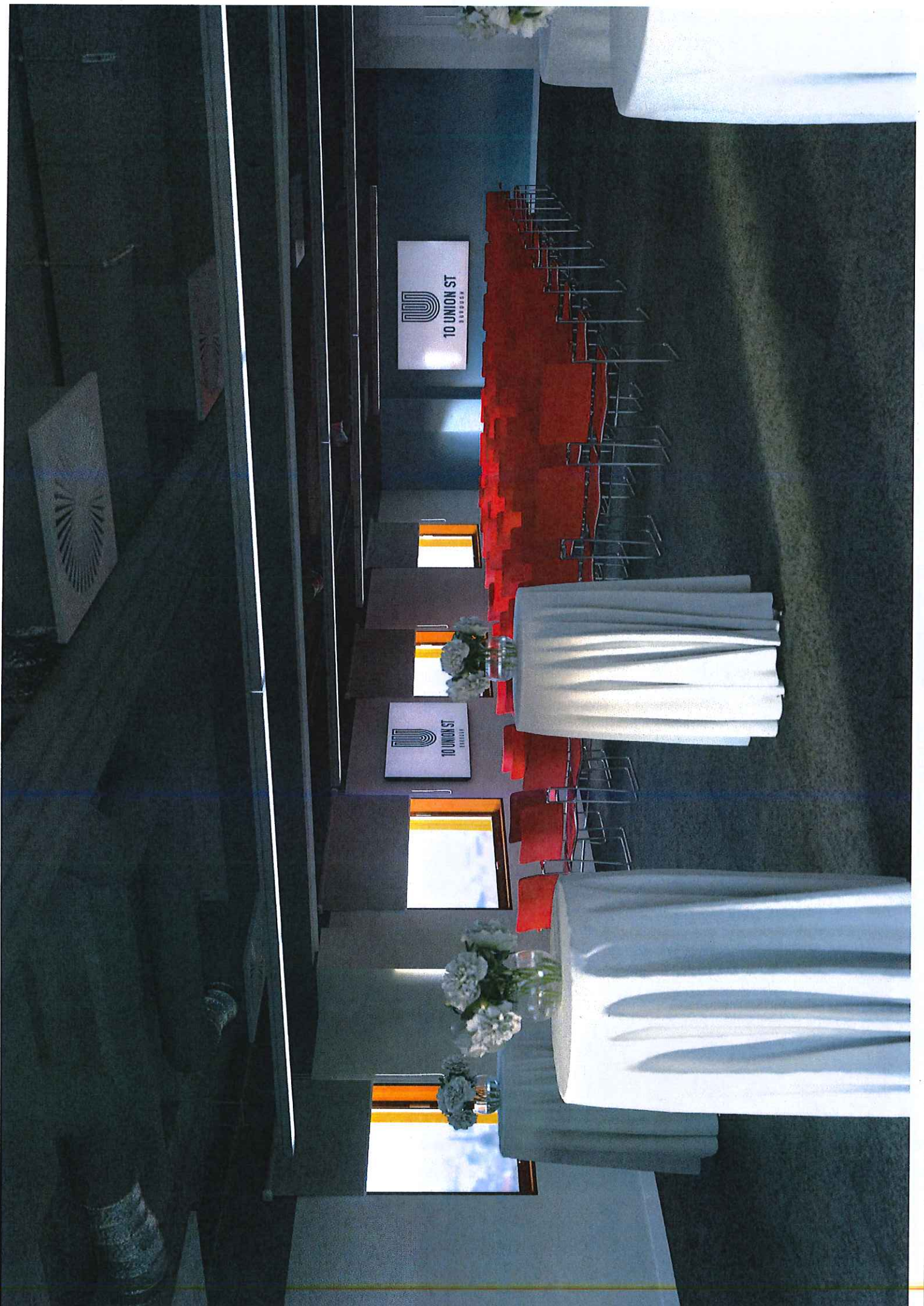




MAIN HALL DINING



1ST FLOOR CATERING AREA

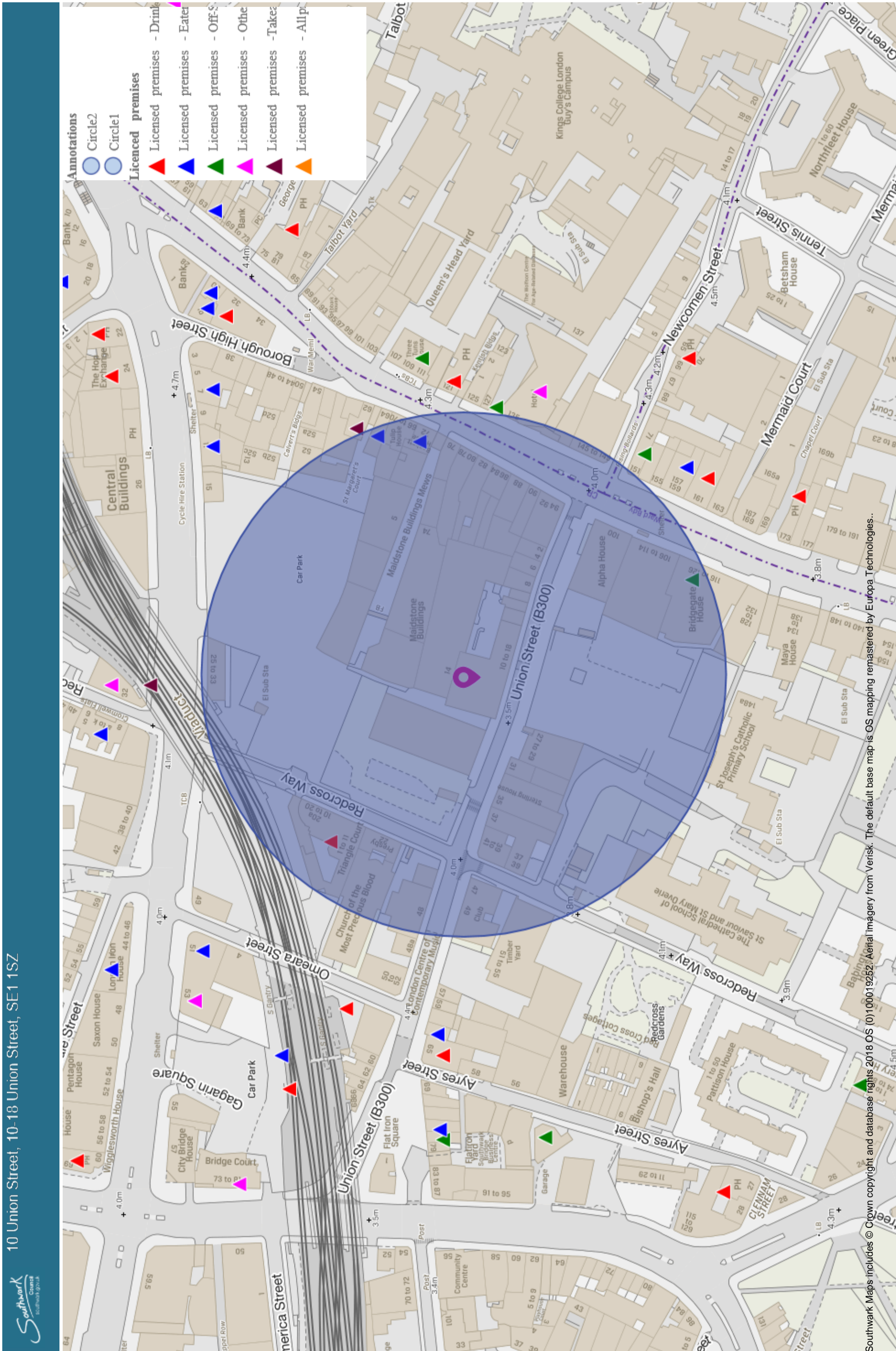


202-203 CABERET



201 DRINK RECEPTION





Item No. 6.	Classification: Open	Date: 10 October 2019	Meeting Name: Licensing Sub-Committee
Report title:		Licensing Act 2003: The Brunel, 47 Swan Road, London SE16 4JN	
Ward(s) or groups affected:		Rotherhithe	
From:		Strategic Director of Environment and Leisure	

RECOMMENDATION

1. That the licensing sub-committee considers an application made on behalf of Southwark Council's environmental protection team, under Section 51 of the Licensing Act 2003 (the Act), for the review of the premises licence held by Punch Partnerships (PTL) Limited in respect of the premises known as The Brunel, 47 Swan Road, London SE16 4JN.
2. Notes:
 - a) The grounds for the review are stated in paragraphs 14 and 15 of this report. A copy of the premises licence review application is attached as Appendix A.
 - b) A copy of the current premises licence issued in respect of the premises is attached to this report as Appendix B.
 - c) The application for the review of the premises licence is supported by representations. Copies of the representations are attached as Appendix C. Details of the representations are provided in paragraphs 19 and 20 of this report. A map showing the location of the premises is attached to this report as Appendix D.
 - d) A copy of the council's approved procedure for hearings of the sub-committee in relation to an application made under the Licensing Act 2003, along with a copy of the hearing regulations, has been circulated to all parties to the meeting.

BACKGROUND INFORMATION

The Licensing Act 2003

3. The Licensing Act 2003 provides a new licensing regime for:
 - The sale of and supply of alcohol
 - The provision of regulated entertainment
 - The provision of late night refreshment.
4. Within Southwark, the licensing responsibility is wholly administered by this council.
5. The Act requires the licensing authority to carry out its functions under the Act with a view to promoting the four stated licensing objectives. These are:

- The prevention of crime and disorder
 - The promotion of public safety
 - The prevention of nuisance
 - The protection of children from harm.
6. In carrying out its licensing functions, a licensing authority must also have regard to:
- The Act itself
 - The guidance to the act issued under Section 182 of the Act
 - Secondary regulations issued under the Act
 - The licensing authority's own statement of licensing policy
 - The application, including the operating schedule submitted as part of the application
 - Relevant representations.
7. The applications process involves the provision of all relevant information required under the Act to the licensing authority with copies provided by the applicant to the relevant responsible bodies. The application must also be advertised at the premises and in the local press. The responsible authorities and other persons within the local community may make representations on any part of the application where relevant to the four licensing objectives.
8. The premises licence once issued remains valid for the life of the business unless surrendered or revoked. However, under section 51 of the Act it remains open to any responsible authority or other person to apply to the local licensing authority for a review of the premises licence where there are ongoing concerns regarding one or more of the four stated licensing objectives.

KEY ISSUES FOR CONSIDERATION

The premises licence

9. The premises licence issued in respect of the premises allows the provision of licensable activities as follows:
- Recorded music, live music, performances of dance, entertainment similar to live or recorded music:
 - Sunday to Thursday: 09:00 to 00:00 (midnight)
 - Friday and Saturday: 09:00 to 01:00
 - The sale of alcohol to be consumed on or off the premises:
 - Sunday to Thursday: 10:00 to 00:30
 - Friday and Saturday: 10:00 to 01:30
 - Late night refreshment:
 - Monday to Saturday: 23:00 to 00:30.

10. The opening hours of the premises are as follows:
 - Sunday to Thursday: 08:00 to 01:00
 - Friday and Saturday: 08:00 to 02:00.
11. The licence is subject to the mandatory conditions set down under the Act and further conditions consistent with the operating schedule submitted with the application for the licence. A copy of the full premises licence is attached to this report as Appendix B.

Designated premises supervisor (DPS)

12. The current designated premises supervisor (DPS) specified in respect of the licence is Kukasz Adamczyk.

The review application

13. On 15 August 2019 an application was submitted on behalf of Southwark Council's environmental protection team, under Section 51 of the Licensing Act 2003 (the Act), for the review of the premises licence held by Punch Partnerships (PTL) Limited in respect of the premises known as The Brunel, 47 Swan Road, London SE16 4JN.
14. The review application was submitted in respect of the prevention of public nuisance licensing objective and relates to an alleged offence witnessed at the premises on 14 July 2019 as follows:
 - That loud music observed emanating from the premises at approximately 21:09 hours amounted to a Statutory Nuisance under Section 80 of The Environmental Protection Act 1990
15. The environmental protection team also note that various recent and historic complaints related to noise nuisance have been made in respect of the premises.
16. The environmental protection team recommends that condition 309 be removed from the premises licence issued in respect of the premises and that additional conditions, relating to the prevention of nuisance, are imposed on the licence.
17. The environmental protection team further recommends that a condition is imposed on the premises licence with the effect that section 177a of the Licensing Act 2003 does not apply to the additional conditions recommended to be imposed on the premises licence by the environmental protection team and to the following licence conditions:
 - 310 - That all exterior windows and doors excepting any that may be required to be locked open for the purposes of means of escape, shall be kept closed whenever public entertainment is being provided upon the premises
 - 315 - That while entertainment is being provided members of the public will not use the beer garden after 2200 hours
18. A copy of the full review application is attached to this report as Appendix A.

Representations from responsible authorities

19. The council's licensing responsible authority has submitted a representation in respect of the prevention of public nuisance licensing objective. The licensing responsible authority states that the council's licensing service has received complaints regarding noise escape from the premises. The licensing responsible authority notes that the council's noise and nuisance team witnessed a statutory nuisance at the premises and served a noise abatement notice regarding this nuisance. The licensing responsible authority therefore fully supports the review application.

Representations from other persons

20. One representation has been submitted on behalf of two 'other persons' who are both local residents living within the immediate vicinity of the premises. The representation states that they suffer a lot of noise and disturbance arising from the premises and also points out that there is a sheltered housing complex in the immediate vicinity of the premises.

Operating History

21. Available records show that a justice's licence, issued under the now repealed Licensing Act 1964, was previously held in respect of the premises prior to 2005.
22. An application to convert the justice's licence into a premises licence via 'grandfather rights' under the Licensing Act 2003 was applied for in 2005. The application was granted and a premises licence was issued in respect of the premises to Mr Stephen Purcell and Mr Paul McManus on 7 September 2005.
23. On 13 November 2009 the licence was transferred to Punch Taverns PLC.
24. On 30 June 2017 Kukasz Adamczyk was specified as the DPS of the premises and remains the DPS of the premises.
25. On 8 March 2018 the licence was transferred to Punch Partnerships (PTL) Limited.
26. On 31 July 2019 a minor variation application was submitted to allow the premises to open at 08:00 hours. The application was granted and an amended licence was issued on 14 August 2019.
27. Between 7 August 2006 and 26 April 2015, when the premises were operating under prior management, 11 noise complaints were made to the council's licensing unit. The complaints alleged that entertainment and patron noise was causing nuisance in the locale.
28. The licensing unit received complaints on 8 October 2018 and 15 July 2019 alleging that entertainment and patron noise was causing nuisance in the locale.
29. Details of visits made to the premises by licensing officers are included in the representation that has been submitted by the licensing responsible authority.
30. On 15 August 2019 an application was submitted on behalf of Southwark Council's environmental protection team, under Section 51 of the Licensing Act 2003 (the Act),

for the review of the premises licence held by Punch Partnerships (PTL) Limited in respect of the premises known as The Brunel, 47 Swan Road, London SE16 4JN.

The local area

31. A map of the area is attached to this report as Appendix D. The premises are shown at the centre of the map. The following licensed premises are also shown on the map:

The Mayflower, 117 Mayflower Rotherhithe Street, London SE16 4NF licensed for:

- The sale of alcohol for consumption on and off the premises:
 - Monday to Saturday: 11:00 to 01:00
 - Sunday: 12:00 to 00:00
- The provision of late night refreshment:
 - Monday to Saturday: 23:00 to 00:00
 - Sunday: 23:00 to 23:30

Eren's Grocers, 22-24 Albion Street, London SE16 7JQ, licensed for:

- The sale of alcohol to be consumed off the premises:
 - Monday to Saturday: 08:00 to 23:00
 - Sunday: 10:00 to 22:30

Water House, 30-32 Albion Street, London SE16 7JQ, licensed for:

- The sale of alcohol to be consumed on the premises:
 - Monday to Saturday: 08:00 to 23:00
 - Sunday: 10:00 to 22:30

Nisa Local, 77 Albion Street, London SE16 7HX, licensed for:

- The sale of alcohol to be consumed off the premises:
 - Monday to Sunday: 08:00 to 22:30

Rainbow Chinese Take-Away & Restaurant, 35-37 Brunel Road, London SE16 4LA licensed for:

- Recorded music and the sale of alcohol for consumption on the premises:
 - Monday to Saturday: 16:00 to 00:00
 - Sunday: 12:30 to 23:30
- The provision of late night refreshment:
 - Monday to Saturday: 23:00 to 00:00
 - Sunday: 23:00 to 23:30

Londis Newsplus, 39-41 Brunel Road, London SE16 4LA licensed for:

- The sale of alcohol to be consumed off the premises:
 - Monday to Saturday: 08:00 to 23:00
 - Sunday: 10:00 to 22:30

Simplicity Restaurant, 1 Tunnel Road, London SE16 4JJ, licensed for:

- The sale of alcohol to be consumed on the premises:
 - Sunday to Thursday: 10:00 to 00:00
 - Friday and Saturday: 10:00 to 01:00
- The provision of late night refreshment
 - Sunday to Thursday: 23:00 to 00:00
 - Friday and Saturday: 23:00 to 01:00

The Brunel Museum, Brunel Engine House, Railway Avenue, London SE16 4LF, licensed for:

- Films, live music, plays:
 - Monday to Sunday: 10:00 to 23:00
- Performances of dance, recorded music, alcohol to be consumed on or off the premises:
 - Monday to Sunday: 10:00 to 00:00.

Southwark council statement of licensing policy

32. Council assembly approved Southwark's statement of licensing policy 2019 - 2021 on 27 March 2019. The policy came into effect on 28 March 2019. Sections of the statement that are considered to be of particular relevance to the sub-committee's consideration are:
 - Section 3 - Purpose and scope of the policy. This reinforces the four licensing objectives and the fundamental principles upon which this Authority relies in determining licence applications
 - Section 5 – Determining applications for premises licences and club premises certificates. This explains how the policy works and considers issues such as location; high standards of management; and the principles behind condition setting.
 - Section 6 – Local cumulative impact policies. This sets out this Authority's approach to cumulative impact and defines the boundaries of the current special policy areas and the classifications of premises to which they apply. To be read in conjunction with Appendix B to the policy

- Section 7 – Hours of operation. This provides a guide to the hours of licensed operation that this Authority might consider appropriate by type of premises and (planning) area classification.
 - Section 8 – The prevention of crime and disorder. This provides general guidance on the promotion of the first licensing objective
 - Section 9 – Public safety. This provides general guidance on the promotion of the second licensing objective
 - Section 10 – The prevention of nuisance. This provides general guidance on the promotion of the third licensing objective
 - Section 11 – The protection of children from harm. This provides general guidance on the promotion of the fourth licensing objective.
33. The purpose of Southwark’s statement of licensing policy is to make clear to applicants what considerations will be taken into account when determining applications and should act as a guide to the sub-committee when considering the applications. However, the sub-committee must always consider each application on its own merits and allow exceptions to the normal policy where these are justified by the circumstances of the application.
34. According to this council’s statement of licensing policy the premises are located in a residential area. Closing times as stated below are suggested in the statement of licensing policy for the following types of premises licensed to sell alcohol and located in residential areas:
- Public houses, wine bars, or other drinking establishments and bars in other types of premises:
 - Sunday to Thursday: 23:00
 - Friday and Saturday: 00:00

Resource implications

35. There is no fee associated with this type of application.

Consultation

36. Consultation has been carried out on this application in accordance with the provisions of the Licensing Act 2003.

Community impact statement

37. Each application is required by law to be considered upon its own individual merits with all relevant matters taken into account.

SUPPLEMENTARY ADVICE FROM OTHER OFFICERS

Director of Law and Democracy

38. The sub-committee is asked to determine, under Section 51 of the Licensing Act 2003, following an application, made under Section 51 of the same act, for a review

of premises licence. At any stage, following the grant of a premises licence, a responsible authority or any other person may ask the licensing authority to review the licence because of a matter arising at the premises in connection with any of the four licensing objectives.

39. The principles, which sub-committee members must apply, are set out below.

Principles for making the determination

40. Under Section 52 the licensing authority must hold a hearing to determine the review and any relevant representations.
41. The four licensing objectives are:
- The prevention of crime and disorder
 - The protection of public safety
 - The prevention of nuisance
 - The protection of children from harm.
42. Each objective must be considered to be of equal importance. The authority must, having regard to the application and any relevant representations, take such of the following steps as it considers appropriate for the promotion of the licensing objectives. The steps are to:
- Modify the conditions of the licence by altering, omitting or adding any condition
 - Exclude a licensable activity from the scope of the licence
 - Remove the designated premises supervisor
 - Suspend the licence for a period not exceeding three months
 - Revoke the licence.
43. For the purpose of determining a relevant representation under section 52 of the Act a “relevant representation” means representations which:
- Are relevant to one or more of the licensing objectives
 - Are made by the holder of the premises licence, a responsible authority or an other person within the prescribed period
 - Have not been withdrawn
 - If made by an other person (who is not also a responsible authority), that they are not, in the opinion of the relevant licensing authority frivolous or vexatious.
44. Modifications of conditions and exclusions of licensable activities may be imposed either permanently or for a temporary period of up to three months.
45. The authority may decide that no action is necessary if it finds that the review does not require it to take any steps appropriate to promote the licensing objectives.
46. In deciding what remedial action if any it should take, the authority must direct its mind to the causes or concerns that the representations identify. The remedial action should generally be directed at these causes and should always be no more than an appropriate and proportionate response.
47. It is of particular importance that any detrimental financial impact that may result from a licensing authority’s decision is appropriate and proportionate to the

promotion of the licensing objectives in the circumstances that gave rise to the application for review.

Reasons

48. Where the authority determines an application for review it must notify the determination and reasons why for making it to:

- The holder of the licence
- The applicant
- Any person who made relevant representations
- The chief officer of police for the area (or each police area) in which the premises are situated.

Hearing procedures

49. Subject to the licensing hearing regulations, the licensing committee may determine its own procedures. Key elements of the regulations are that:

- The hearing shall take the form of a discussion led by the authority. Cross examination shall not be permitted unless the authority considered that it is required for it to consider the representations
- Members of the authority are free to ask any question of any party or other person appearing at the hearing
- The committee must allow the parties an equal maximum period of time in which to exercise their rights to:
 - Address the authority
 - If given permission by the committee, question any other party.
 - In response to a point which the authority has given notice it will require clarification, give further information in support of their application.
- The committee shall disregard any information given by a party which is not relevant:
 - To the particular application before the committee, and
 - The licensing objectives.
- The hearing shall be in public, although the committee may exclude the public from all or part of a hearing where it considers that the public interest in doing so outweighs the public interest in the hearing, or that part of the hearing, taking place in private
- In considering any representations or notice made by a party the authority may take into account documentary or other information produced by a party in support of their application, representations or notice (as applicable) either before the hearing or, with the consent of all the other parties, at the hearing.

50. This matter relates to the review of the premises licence under section 51 of the Licensing Act 2003. Regulation 26(1) (a) requires the sub-committee to make its determination at the conclusion of the hearing.

Council's multiple roles and the role of the licensing sub-committee

51. Sub-committee members will note that, in relation to this application, the council has multiple roles. Council officers from various departments have been asked to consider the application from the perspective of the council as authority responsible respectively for environmental health, trading standards, health and safety and as the planning authority.
52. Members should note that the licensing sub-committee is meeting on this occasion solely to perform the role of licensing authority. The sub-committee sits in quasi-judicial capacity, and must act impartially. It must offer a fair and unbiased hearing of the application. In this case, members should disregard the council's broader policy objectives and role as statutory authority in other contexts. Members must direct themselves to making a determination solely based upon the licensing law, guidance and the council's statement of licensing policy.
53. As a quasi-judicial body the licensing sub-committee is required to consider the application on its merits. The sub-committee must take into account only relevant factors, and ignore irrelevant factors. The decision must be based on evidence, that is to say material, which tends logically to show the existence or non-existence of relevant facts, or the likelihood or unlikelihood of the occurrence of some future event, the occurrence of which would be relevant. The licensing sub-committee must give fair consideration to the contentions of all persons entitled to make representations to them.
54. The licensing sub-committee is entitled to consider events outside of the premises if they are relevant, i.e. are properly attributable to the premises being open. The proprietors do not have to be personally responsible for the incidents for the same to be relevant. However, if such events are not properly attributable to the premises being open, then the evidence is not relevant and should be excluded. Guidance is that the licensing authority will primarily focus on the direct impact of the activities taking place at the licensed premises on members of the public, living, working or engaged in normal activity in the area concerned.
55. Members will be aware of the council's code of conduct which requires them to declare personal and prejudicial interests. The code applies to members when considering licensing applications. In addition, as a quasi-judicial body, members are required to avoid both actual bias, and the appearance of bias.
56. The sub-committee can only consider matters within the application that have been raised through representations from other persons and responsible authorities.
57. Under the Human Rights Act 1998, the sub committee needs to consider the balance between the rights of the applicant and those making representations to the application when making their decision. The sub-committee has a duty under section 17 Crime and Disorder Act 1998 when making its decision to do all it can to prevent crime and disorder in the borough.
58. Other persons, responsible authorities and the applicant have the right to appeal the decision of the sub-committee to the magistrates' court within a period of 21 days beginning with the day on which the applicant was notified by the licensing authority of the decision to be appealed against.

Guidance

59. Members are required to have regard to the Home Office guidance in carrying out the functions of licensing authority. However, guidance does not cover every possible situation, so long as the guidance has been properly and carefully understood, members may depart from it if they have reason to do so. Full reasons must be given if this is the case.

Strategic Director of Finance and Governance

60. The head of community safety and enforcement has confirmed that the costs of this process are borne by the service.

BACKGROUND DOCUMENTS

Background papers	Held At	Contact
Licensing Act 2003 Home Office revised guidance Secondary Regulations Statement of Licensing Policy Various papers from the premises file	Licensing Unit Hub 1 Third Floor 160 Tooley Street SE1 2TZ	Kirty Read Phone number: 020 7525 5748

APPENDICES

No.	Title
Appendix A	Review application
Appendix B	The premises licence
Appendix C	Copies of the representations submitted
Appendix D	Map of area

AUDIT TRAIL

Lead Officer	Caroline Bruce, Strategic Director of Environment and Leisure		
Report Author	Wesley McArthur, Principal Licensing Officer		
Version	Final		
Dated	25 September 2019		
Key Decision?	No		
CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER			
Officer Title		Comments sought	Comments included
Director of Law and Democracy		Yes	Yes
Strategic Director of Finance and Governance		Yes	Yes
Cabinet Member		No	No
Date final report sent to Constitutional Team			27 September 2019

15/08/2019

Application for a review of a premises licence or club premises certificate under the Licensing Act
Ref No. 1283427

Please enter the name of applicant who is applying for the review of a premises licence under section 51/
applying for the review of a club premises certificate under section 87 of the Licensing Act 2003 for the
premises described in part 1

	Richard Earis on behalf of Southwark Council's Environmental Protection Team
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Postal address of premises or club premises, or if none, ordnance survey map reference or description

Address Line 1	THE BRUNEL PUBLIC HOUSE
Address Line 2	47 SWAN ROAD
Town	LONDON
County	
Post code	SE16 4JN
Ordnance survey map reference or description	

Name of premises licence holder or club holding club premises certificate (if known)

	Punch Partnerships (PTL) Limited
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Number of premises licence or club premises certificate (if known)

	869233
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I am

	2) a responsible authority
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Personal Information

Title	Mr
If other, please specify	
First names	Richard
Surname	Earis

Address

Address Line 1	160 TOOLEY STREET
----------------	-------------------

Address Line 2	
Town	LONDON
County	
Post code	SE1 2QH

Contact Details

Telephone number (if any)	(020) 7525 2469
E-mail address (optional)	richard.earis@southwark.gov.uk

Personal Details

Title	Mr
If other, please specify	
Forenames	Richard
Surname	Earis

Address

	SOUTHWARK COUNCIL
Address Line 1	160 TOOLEY STREET
Address Line 2	
Town	LONDON
County	
Post code	SE1 2QH

Contact Details

Daytime contact telephone number	(020) 7525 2469
E-mail address (optional)	richard.earis@southwark.gov.uk

This application to review relates to the following licensing objective(s)

	Please select one or more as appropriate
	3) the prevention of public nuisance

Please state the ground(s) for review (please read guidance note 2)

	It has become clear the current License fails to provide sufficient controls to ensure the
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	<p>Prevention of Public Nuisance Licensing Objective. In particular that conditions relevant to live and amplified music (conditions 309,310,315) are not currently enforceable prior to 23:00 owing to S.177A of the Licensing Act (as amended by the Live Music Act 2012). This has been shown to result in a nuisance on 14/7/2019, as witnessed by an Officer from The London Borough of Southwark Noise Team. There is also substantial evidence of previous nuisance from loud amplified music from this premises. The aim of the review is to amend the License to add sufficient controls to ensure the Prevention of Public Nuisance Licensing Objective.</p>
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Please provide as much information as possible to support the application (please read guidance note 3)

	<p>That at 21.09 on 14/7/2019 an Officer from The London Borough of Southwark Noise Team attended a complaint regarding loud amplified music from the premises. The Officer found that loud music was emanating from the premises and the door to the premises was open. The Officer determined that the music amounted to a Statutory Nuisance. The Officer spoke to the premises manager who then closed the door. An abatement notice was subsequently served under S.80 of the Environmental Protection Act 1990. This notice is currently subject to challenge on the grounds that it was not served on the person responsible for the nuisance, although the facts of the nuisance are not at this stage disputed.</p> <p>The current License contains conditions relevant to live and amplified music (conditions 309,310,315) however these are not currently enforceable prior to 23:00 owing to S.177A of the Licensing Act (as amended by the Live Music Act 2012).</p> <p>Prior to events on 14/7/2019, there was a history of complaint in relation to the premises as follows:</p> <p>22/6/2019: Licensing Enforcement Officers witnessed breach of License Conditions and loud amplified music emanating from the premises. A warning letter was sent to the DPS</p> <p>23/9/2018: Complaint from local resident of noise from loud music and door being propped open.</p> <p>1/4/2018: Resident complaint of loud music coming from pub.</p> <p>7/10/2016: NTE visit found loud music audible from outside and sound limiter did not appear to be working.</p> <p>30/9/2016: NTE Visit music audible from outside premises. Sound increased as doors opened.</p> <p>28/9/2016: Warning letter sent to manager</p> <p>24/9/2016: NTE visit found 'music was blaring out loud' and sound limiter not working correctly. Advice given to manager.</p> <p>18/9/2016: Resident complaint of loud music and breaching License Conditions</p> <p>9/9/2016: Resident complaint of loud music coming from premises</p> <p>28/8//2016: Resident complaint of loud music coming from premises</p> <p>29/7/2016: Resident complaint of loud music coming from premises. Noise Team visit found music audible but not loud</p> <p>(Complaints prior to 2016 not detailed)</p> <p>The Licence holder and premises management have responded positively to our recent involvement in this case and have offered a number of voluntary measures to reduce the risk of further nuisance. However, the Environmental Protection Team consider that the events and complaint history above have highlighted an ongoing risk of public nuisance which could be suitably controlled by application of existing and enhanced License conditions to live and recorded music prior to 23:00. As a result of this, and in order to ensure suitable controls on the License, we request the following amendments to the</p>
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	<p>License:</p> <ol style="list-style-type: none"> 1. Deletion of condition 309 2. Amendment and additional conditions as follows: <p>Section 177A of the Licensing Act 2003 shall not apply to the following Conditions:</p> <p>310. That all exterior windows and doors excepting any that may be required to be locked open for the purposes of means of escape, shall be kept closed whenever public entertainment is being provided upon the premises</p> <p>315 - That while entertainment is being provided members of the public will not use the beer garden after 2200 hours</p> <p>Premises management shall regularly monitor outside the premises to ensure that the volume and bass of any entertainment does not cause nuisance. A written record of such checks shall be kept on the premises and made available to Officers of the Local Authority or Police upon request.</p> <p>A sound limiting device shall be installed, set and maintained, to control maximum levels of amplified sound inside the premises so as to ensure entertainment noise from the premises does not cause a public nuisance in the vicinity of the premises, and in particular is not audible inside any nearby noise sensitive premises.</p> <p>All audio and musical equipment used in the premises, permitted under the Licensing Act 2003 or the Live Music Act 2012, shall be played through the installed sound limiting device at all times.</p> <p>Any additional amplification equipment imported on to the premises by third parties, permitted under the Licensing Act 2003 or the Live Music Act 2012, shall be connected to and use the installed sound limited device/circuit at all times.</p>
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Have you made an application for review relating to this premises before?

	No
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If yes, please state the date of the application

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If you have made representations before relating to these premises please state what they were and when you made them

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Checklist

	I understand that if I do not comply with the above requirements my application will be rejected
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Declaration (please read guidance note 5)

Applicant Full Name	Richard Earis
Applicant or Applicant's solicitor	Debra Allday Southwark Legal Services

or other duly authorised agent	
Date	15/08/2019
Capacity	EHO - Responsible Authority

Contact name (where not previously given) and postal address for correspondence associated with this application (please read guidance note 6)

Full name	Richard Earis
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Address (please read guidance note 6)

Address Line 1	160 TOOLEY STREET
Address Line 2	
Town	LONDON
County	
Postcode	SE1 2QH
Telephone number (if any)	
Email	richard.earis@southwark.gov.uk

Licensing Act 2003

Premises Licence



Regulatory Services
Licensing Unit
Hub 1, 3rd Floor
PO Box 64529
London, SE1P 5LX

Premises licence number

869233

Part 1 - Premises details

Postal address of premises, or if none, ordnance survey map reference or description	
The Brunel 47 Swan Road Ordnance survey map reference (if applicable): 535375179843	
Post town: London	Post code: SE16 4JN
Telephone number:	

Licensable activities authorised by the licence

Recorded Music
Live Music - Indoors
Performance of Dance - Indoors
Entertainment Similar to live/recorded music - Indoors
Late Night Refreshment - Indoors
Sale by retail of alcohol to be consumed on premises
Sale by retail of alcohol to be consumed off premises

The opening hours of the premises. For any non standard timings see Annex 2

Monday	08:00 - 01:00
Tuesday	08:00 - 01:00
Wednesday	08:00 - 01:00
Thursday	08:00 - 01:00
Friday	08:00 - 02:00
Saturday	08:00 - 02:00
Sunday	08:00 - 01:00

Where the licence authorises supplies of alcohol whether these are on and/ or off supplies

Sale by retail of alcohol to be consumed on premises
Sale by retail of alcohol to be consumed off premises

The times the licence authorises the carrying out of licensable activities

For any non standard timings see Annex 2 of the full premises licence

Recorded Music

Monday: 09:00 - 00:00

Tuesday: 09:00 - 00:00
 Wednesday: 09:00 - 00:00
 Thursday: 09:00 - 00:00
 Friday: 09:00 - 01:00
 Saturday: 09:00 - 01:00
 Sunday: 09:00 - 00:00

Live Music - Indoors

Monday 09:00 - 00:00
 Tuesday 09:00 - 00:00
 Wednesday 09:00 - 00:00
 Thursday 09:00 - 00:00
 Friday 09:00 - 01:00
 Saturday 09:00 - 01:00
 Sunday 09:00 - 00:00

Performance of Dance - Indoors

Monday 09:00 - 00:00
 Tuesday 09:00 - 00:00
 Wednesday 09:00 - 00:00
 Thursday 09:00 - 00:00
 Friday 09:00 - 01:00
 Saturday 09:00 - 01:00
 Sunday 09:00 - 00:00

Entertainment Similar to live/recorded music - Indoors

Monday 09:00 - 00:00
 Tuesday 09:00 - 00:00
 Wednesday 09:00 - 00:00
 Thursday 09:00 - 00:00
 Friday 09:00 - 01:00
 Saturday 09:00 - 01:00
 Sunday 09:00 - 00:00

Late Night Refreshment - Indoors

Monday 23:00 - 00:30
 Tuesday 23:00 - 00:30
 Wednesday 23:00 - 00:30
 Thursday 23:00 - 00:30
 Friday 23:00 - 00:30
 Saturday 23:00 - 00:30

Sale by retail of alcohol to be consumed on premises

Monday 10:00 - 00:30
 Tuesday 10:00 - 00:30
 Wednesday 10:00 - 00:30
 Thursday 10:00 - 00:30
 Friday 10:00 - 01:30
 Saturday 10:00 - 01:30
 Sunday 10:00 - 00:30

Sale by retail of alcohol to be consumed off premises

Monday 10:00 - 00:30
 Tuesday 10:00 - 00:30
 Wednesday 10:00 - 00:30
 Thursday 10:00 - 00:30

Friday	10:00 - 01:30
Saturday	10:00 - 01:30
Sunday	10:00 - 00:30

Part 2

Name, (registered) address, telephone number and email (where relevant) of holder of premises licence

Punch Partnerships (PTL) Limited
 Elsley Court
 20-22 Great Titchfield Street
 London
 W1W 8BE

Registered number of holder, for example company number, charity number (where applicable)

03512363

Name, address and telephone number of designated premises supervisor where the premises licence authorises for the supply of alcohol

Kukasz Adamczyk

[REDACTED]

[REDACTED]

[REDACTED]

Personal licence number and issuing authority of personal licence held by designated premises supervisor where the premises licence authorises for the supply of alcohol

Licence No.: [REDACTED]

Authority : [REDACTED]

Licence Issue date: 14/ 8/2019



Head of Regulatory Services
 Hub 1, 3rd Floor
 PO Box 64529
 London, SE1P 5LX
 020 7525 5748
licensing@southwark.gov.uk

Annex 1 - Mandatory conditions

100 No supply of alcohol may be made under the Premises Licence -

- a. At a time when there is no Designated Premises Supervisor in respect of the Premises Licence; or
- b. At a time when the Designated Premises Supervisor does not hold a Personal Licence or his Personal Licence is suspended.

101 Every supply of alcohol under the Premises Licence must be made, or authorised by, a person who holds a Personal Licence.

485 (1) The responsible person must ensure that staff on relevant premises do not carry out, arrange or participate in any irresponsible promotions in relation to the premises.

(2) In this paragraph, an irresponsible promotion means any one or more of the following activities, or substantially similar activities, carried on for the purpose of encouraging the sale or supply of alcohol for consumption on the premises -

(a) games or other activities which require or encourage, or are designed to require, encourage, individuals to -

(i) drink a quantity of alcohol within a time limit (other than to drink alcohol sold or supplied on the premises before the cessation of the period in which the responsible person is authorised to sell or supply alcohol), or

(ii) drink as much alcohol as possible (whether within a time limit or otherwise);

(b) provision of unlimited or unspecified quantities of alcohol free or for a fixed or discounted fee to the public or to a group defined by a particular characteristic in a manner which carries a significant risk of undermining a licensing objective;

(c) provision of free or discounted alcohol or any other thing as a prize to encourage or reward the purchase and consumption of alcohol over a period of 24 hours or less in a manner carries a significant risk of undermining a licensing objective;

(d) selling or supplying alcohol in association with promotional poster or flyers on, or in the vicinity of, the premises which can reasonably be considered to condone, encourage or glamorise anti-social behaviour or to refer to the effects of drunkenness in any favourable manner; and

(e) dispensing alcohol directly by one person into the mouth of another (other than where that other person is unable to drink without assistance by reason of disability).

487 The responsible person must ensure that free potable water is provided on request to customers where it is reasonably available.

488 (1) The premises licence holder or club premises certificate holder must ensure that an age verification policy is adopted in respect of the premises in relation to the sale or supply of alcohol.

(2) The designated premises supervisor in relation to the premises licence must ensure that the supply of alcohol at the premises is carried on in accordance with the age verification policy.

(3) The policy must require individuals who appear to the responsible person to be under 18 years of age (or such older age as may be specified in the policy) to produce on request, before being served alcohol, identification bearing their photograph, date of birth and either

- (a) a holographic mark; or
- (b) an ultraviolet feature.

489 The responsible person shall ensure that -

(a) Where any of the following alcoholic drinks is sold or supplied for consumption on the premises (other than alcoholic drinks sold or supplied having been made up in advance ready for sale or supply in a securely closed container) it is available to customers in the following measures -

- (i) Beer or cider: 1/2 pint;
- (ii) Gin, rum, vodka or whisky: 25 ml or 35 ml; and
- (iii) Still wine in a glass: 125 ml;

(b) these measures are displayed in a menu, price list or other printed material which is available to customers on the premises; and

(c) where a customer does not in relation to a sale of alcohol specify the quantity of alcohol to be sold, the customer is made aware that these measures are available,

491 1. A relevant person shall ensure that no alcohol is sold or supplied for consumption on or off the premises for a price which is less than the permitted price.

2. For the purpose of the condition set out in paragraph (1):

(a) "duty" is to be construed in accordance with the Alcoholic Liquor Duties Act 1979;

(b) "permitted price" is the price found by applying the formula $P = D + (D \times V)$, where-

- (i) P is the permitted price,
- (ii) D is the amount of duty chargeable in relation to the alcohol as if the duty were charged on the date of the sale or supply of the alcohol, and
- (iii) V is the rate of value added tax chargeable in relation to the alcohol as if the value added tax were charged on the date of the sale or supply of the alcohol;

(c) "relevant person" means, in relation to premises in respect of which there is in force a premises licence -

- (i) the holder of the premises licence;
- (ii) the designated premises supervisor (if any) in respect of such a licence; or
- (iii) the personal licence holder who makes or authorises a supply of alcohol under such a licence;
- (iv) "relevant person" means, in relation to premises in respect of which there is in force a club premises certificate, any member or officer of the club present on the premises in a capacity which enables the member or officer to prevent the supply in question; and
- (v) "value added tax" means value added tax charged in accordance with the Value Added Tax Act 1994.

3. Where the permitted price given by paragraph (b) of paragraph 2 would (apart from this paragraph) not be a whole number of pennies, the price given by that sub-paragraph shall be taken to be the price actually given by that sub-paragraph rounded up to the nearest penny.

4. (1) Sub-paragraph (2) applies where the permitted price given by paragraph (b) of paragraph 2 on a day ("the first day") would be different from the permitted price on the next day ("the second day") as a result of a change to the rate of duty or value added tax;

(2) the permitted price which would apply on the first day applies to sales or supplies of alcohol which take place before the expiry of the period of 14 days beginning on the second day.

Annex 2 - Conditions consistent with the operating Schedule

109 Alcohol shall only be sold or supplied during permitted hours, as stated elsewhere on this licence and from the end of permitted hours on New Year's Eve to the start of permitted hours on the following day.

111 This licence provides for the provision of private music and dancing entertainment that is promoted for private gain;

120 a. Subject to the following paragraphs, the permitted hours on weekdays shall extend until 2.00.a.m. in the morning following, except that -

i) The permitted hours shall end at midnight on any day on which music and dancing is not provided after midnight; and

ii) On any day that music and dancing end between midnight and 2.00.a.m. in the morning, the permitted hours shall end when the music and dancing end.

b. On relation to the morning on which summer time begins, the reference to 2.00.a.m. in the morning in a. above shall be replaced by a reference to 3.00.a.m. in the morning.

c. Except on Sundays immediately before bank holidays, the permitted hours on Sundays shall extend until thirty minutes past midnight in the morning following, except that -

i) The permitted hours shall end at midnight on any Sunday on which music and dancing is not provided after midnight;

ii) Where music and dancing end between midnight on any Sunday and thirty minutes past midnight, the permitted hours on that Sunday shall end when the music and dancing end.

d. On Sundays immediately before bank holidays, the permitted hours shall extend until 2.00.a.m. in the morning following except that -

i) The permitted hours shall end at midnight on any Sunday on which music and dancing is not provided after midnight;

ii) Where music and dancing end between midnight on any Sunday and 2.00.a.m. the permitted hours on that Sunday shall end when the music and dancing end.

e. The sale of alcohol must be ancillary to the use of the premises for music and dancing and substantial refreshment.

154 a. The Licensee / Duty Manager shall ensure that he has sufficient trained staff on duty to ensure the safe evacuation of the premises in an emergency. Such staff shall have been specifically instructed on their duties in the event of an emergency by the Licensee or by a person nominated by him. The instruction given to staff shall include training on the safe and efficient running of the premises and the safe evacuation of the premises.

b. A nominated member of staff in addition to the Duty Manager shall have responsibility for fire prevention measures and for ensuring that all escape routes including exit doors are fully available.

c. No Door Supervisor shall be employed at premises outside London except with consent. Any employment shall be in accordance with additional conditions set by the Council.

d. Staff with specific responsibilities in the event of fire or other emergency, together with deputies, shall receive training and written instruction appropriate to their role. The Licensee / Duty manager shall, once he is satisfied as to the competence of each member of staff, record this in the Fire log book.

155 a. The Licensee shall cause a Fire log-book to be kept.

b. Any authorized officer shall be entitled to obtain a photocopy of any page(s) of the log-book.

159 i) Fire Fighting Equipment

a) The approved fire-fighting equipment shall be kept in the approved positions and be maintained in satisfactory working order, unobstructed and available for immediate use;

b) Portable fire-fighting equipment shall be inspected at least once a year in accordance with BS 5306-3 and recharged where necessary in compliance with the manufacturer's instructions. The date of inspection shall be clearly marked on the appliance or a stout tab securely attached to it and recorded in the fire log book;

c) For details of the certificates to be provided see condition 4045.

ii) Fire-alarm warning system

a) Any fire-alarm warning system shall be maintained in satisfactory working order;

b) All checks, tests and inspections shall be recorded in the fire log book; and

c) For details of the certificates to be provided see condition 4045.

161 The Licensee / Duty manager shall ensure that, whenever disabled people are present, adequate arrangements are made to enable their safe evacuation in the event of an emergency and that they are made aware of those arrangements.

163 a. All escape routes and exits including external exits shall be maintained unobstructed, in good order with non-slippery and even surfaces, free of trip hazards and clearly identified in accordance with the approved arrangements.

b. All exits door shall be available and easily operable without the use of a key, card, code or similar means. Only approved fastenings shall be used.

c. Any removable security fastening shall be removed from the doors prior to opening the premises to the public. All such fastenings shall be kept in the approved positions.

d. If required, exit doors shall be secured in the fully open position when the public are present.

e. All fire-doors shall be maintained effectively self-closing and shall not be held open other than by approved devices.

f. Fire-resisting doors to ducts, service shafts and cupboards shall be kept locked shut.

g. The edges of treads of steps and stairways shall be maintained so as to be conspicuous.

167 Notices detailing the actions to be taken in the event of fire or other emergencies, including how the fire brigade can be summoned, shall be prominently displayed and shall be protected from damage or deterioration.

170 Refuse receptacles shall be emptied regularly.

171 Access for emergency vehicles shall be kept clear and free from obstruction.

172 a.The Licensee / Duty Manager shall ensure that an adequate and appropriate supply of first aid equipment and materials is available on the premises.

b.If required, at least one suitably trained first aider shall be on duty when the public are present. If more than one suitably trained first-aider is present, each person's responsibilities shall be clearly identified.

173 a.Toilet accommodation shall be provided free of charge and be kept clean and in proper working order.

b.An adequate supply of hot and cold (or warm) water, toilet paper in holders or dispensers, soap and suitable hand and face drying facilities shall be provided in toilet accommodation.

177 a.In the absence of adequate daylight the management lighting in any area accessible to the public shall be fully in operation whilst the public are present.

b.Except as permitted under d. below there shall be adequate illumination to enable people to see their way out of the premises

c.Fire safety signs shall be adequately illuminated except as permitted under d. below.

d.of essential to the entertainment and subject to consent, the management lighting in the entertainment area may be reduced or extinguished provided

(i)the lighting be controlled from a position with a clear view of the entertainment area; and

(ii)An operator remain by the controls whilst the lighting is reduced or extinguished; and

(iii)The operator restore the management lighting at once in the event of any emergency; and

(iv)The escape route signs remain adequately illuminated.

178 a.The emergency lighting battery shall be fully charged before the admission of the public.

b.The emergency lighting battery shall be fully charged before the admission of the public

c.In the event of failure of the normal lighting

(i)If the emergency lighting battery has a one hour capacity the public shall leave the premises within 20 minutes unless within that time the normal lighting has been restored and the battery is being re-charged; or

(ii)If the emergency lighting battery has a 3 hour capacity the public shall leave the premises within one hour unless within that time the normal lighting has been restored and the battery is being re-charged.

d.The public shall not be re-admitted to the premises until the normal lighting has been fully restored and the battery fully recharged except

(i)Where the emergency lighting battery has a one hour capacity and if the failure of the normal lighting was fully rectified within 20 minutes of failure and the battery is being re-charged; or

(ii)Where the emergency lighting battery has a 3 hour capacity and if the failure of the normal lighting was fully rectified within one hour of failure and the battery is being re-charged.

180 a.The premises shall be effectively ventilated.

b.Where the ventilation system is designed to maintain a positive air pressure within that part of the premises, that pressure shall be maintained whenever the public are present in that part of the premises.

182 a) The following certificates shall be submitted to the Council at least once a year unless stated otherwise below. Note: Where a certificate covers a period of more than one year it will be sufficient to submit a photocopy of the certificate each year that the certificate remains valid.

i) Battery - The emergency lighting battery (including any self contained units) and associated control equipment. The inspection of the battery and control equipment shall be in accordance with BS 5266-1. The certificate shall be signed by a Corporate Member of the Institution of Electrical Engineers or a member of the Electrical Contractors Association or by a contractor enrolled with the National Inspection Council for Electrical Installation Contracting or, with consent, another competent person.

ii) Electrical installation - The entire electrical installation (including the emergency lighting installation but excluding any battery). The inspection shall be in accordance with Guidance Note 3 to BS 7671. In large or complex premises the electrical installation shall be visually inspected once a year and at least 20% of the installation tested in accordance with a programme approved by the Council such that the whole installation is tested every 5 years. The certificate shall be signed by a Corporate Member of the Institution of Electrical Engineers or a member of the Electrical Contractors Association or by a contractor enrolled with the National Inspection Council for Electrical Installation Contracting or, with consent, another competent person.

iii) Fire alarm warning system - Confirmation from a fire alarm company or, with consent, another competent person that the fire alarm warning system continues to satisfy the requirements of BS 5839;

iv) Special effects - Permanently installed smoke machines, fog generators and strobe lighting;

288 That the CCTV system installed upon the premises shall be maintained in good working condition and operable at all times

289 That recordings taken by the CCTV system installed upon the premises shall be kept and made available for inspection by authorised officers for a period of thirty-one days.

307 That the maximum number of persons that may be accommodated on the premises at any one time shall not exceed 100 (One Hundred)

309 That all musicians and DJs must play electrically amplified music/audio/PA through a sound cut out device. The cut-out device shall be maintained at levels set to the satisfaction of the Council's Noise Team

310 That all exterior windows and doors excepting any that may be required to be locked open for the purposes of means of escape, shall be kept closed whenever public entertainment is being provided upon the premises

311 That clearly legible notices shall be prominently displayed where they can easily be read requesting to the effect that customers leave the premises in a quiet and orderly manner.

315 That while entertainment is being provided members of the public will not use the beer garden after 2200 hours

332 Children shall be accompanied by a responsible adult at all times

340 No new admittance after 23:00 hours on Sunday to Thursday and after 23:30 hours on Friday and Saturday.

Annex 3 - Conditions attached after a hearing by the licensing authority

840 That no open vessels shall be allowed outside the premises after 23:00 hours.

841 The beer garden must not be used on Sunday - Thursday after 23:00 hours

Annex 4 - Plans - Attached

Licence No. 869233

Plan No. 020403/03

Plan Date 2 April 2003

MEMO: Licensing Unit

To Licensing Unit **Date** 12 September 2019

Copies

From Jayne Tear **Telephone** 020 7525 0396

Email jayne.tear@southwark.gov.uk

Subject The Brunel P/H, 47 Swan Road, London, SE16 4JN

Application to review the premises licence

I write with regards to the above application to review the premises licence submitted by Southwark Environmental Protection Team (EPT) as a responsible authority under the Licensing Act 2003.

The application is submitted under the prevention of public nuisance licensing objective and the grounds for the review are concerned with:

Prevention OF Public Nuisance: In particular that conditions relevant to live and amplified music (conditions 309, 310, 315) are not currently enforceable prior to 23:00 owing to S.177a of the Licensing Act (as amended by the Live Music Act 2012). This has been shown to result in a nuisance on 17/7/2019, as witnessed by an officer from the London Borough of Southwark Noise Team. There is also substantial evidence of previous nuisance from loud amplified music from this premises. The aim of the review is to amend the licence to add sufficient controls to ensure the prevention of public nuisance licensing objective.

The premises, (previously known as the Adam and Eve) is currently licensed as follows as follows:

- Opening hours on Sunday to Thursday from 08:00 to 01:00 the following day and on Friday and Saturday from 08:00 to 02:00 the following day.
- Sale by retail of alcohol to be consumed on and off the premises on Sunday to Thursday from 10:00 to 00:30 the following day and on Friday and Saturday from 10:00 to 01:30 the following day
- Recorded music on Monday to Thursday from 9:00 to 00:00; and on Friday and Saturday from 09:00 to 01:00 the following day and on Sunday from 12:00 to 00:00
- Live music, performance of dance and anything similar to live/recorded music (all indoors) on Sunday to Thursday from 09:00 to 00:00 and on Friday and Saturday from 09:00 to 01:00 the following day
- Late night refreshment on Monday to Saturday from 23:00 to 00:30

The licensee is Punch Partnerships (PTL) Limited and designated premises supervisor (DPS) is Kukasz Adamczyk.

The premises is situated in a residential area and under the current Southwark Statement of Licensing policy 2019 -2021 the appropriate closing times for restaurants; cafes, public houses, wine bars or other drinking establishments is 23:00 daily, however this premises licence was originally granted on 7 September 2005

My representation is submitted with regards to promoting the prevention of public nuisance licensing objective and has regard to the Southwark Statement of Licensing Policy 2019 – 2021.

The licensing unit have received complaints regarding noise escape from the premises and more recently the council's noise team have witnessed a statutory noise nuisance and a noise abatement notice has been served.

Attached to this representation is a log of complaints received by the licensing unit and also a log of night time economy team visits to the premises.

If more appropriate conditions as suggested by the EPT officer within the review application are placed upon the licence, this will assist in promoting the prevention of public nuisance licensing objective.

I therefore fully support the review submitted by the council's EPT as a responsible authority.

Jayne Tear
Principal Licensing officer
In the capacity of the Licensing Responsible Authority

a date	desc	a officer	name	address	ad text
20/10/2012	00:40 NTE Visit	Wesley McArthur	Adam And Eve Public House	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	I monitored the exterior of the premises to the rear and could hear no sound escape. There was no significant sound escape to the front of the premises. The beer garden was not in use. Two IC1 males were outside the entrance to the pub smoking. I witnessed people entering and leaving the premises but did not witness any raised voices and/or shouting. As soon as RAP, SMC and I entered the premises a barmaid approached us and told us that the bar was about to shut. I ID 'myself and asked to speak to the DPS, [REDACTED] approached me and stated that the premises were going to shut by 01:00, as she said this I heard the DJ announce last orders at the bar. I spoke to SJ re' recent complaints about noise and the use of the beer garden after permitted hours. I advised her to ensure that all her staff are fully aware of all the T&Cs of the PL issued in respect of the licence and to expect further ad-hoc licensing visits. I also advised her that there are various superfluous conditions on the PL. I left my bus 'card and told her to contact me if she had any further queries. SMC left her some H&S info' and a bus' card.
24/08/2013	24/8/13 NTE Visit	Dave Swaby	Adam And Eve Public House	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to premises to investigate the complaint of noisy customers. Premises was very quiet only about 6 people on the premises all inside due to the rain.
02/08/2014	21:39 NTE Visit	Farhad Chowdhury	Adam And Eve Public House	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	2/ 8/2014 21:39 FRC Doors were closed on both sides of the premises, observed no noise escaping and no customers outside.

08/08/2014	20:30 NTE Visit	Wesley McArthur	Adam And Eve Public House	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	8/ 8/2014 20:30 WJM Observation of the premises with Sarah Newman (SN). We parked on Swan Street. There was no sound escape from the premises audible on Swan Street. The beer garden was in use. There were two IC1 males sitting underneath the awning in the beer garden. They were speaking at a normal conversational level. Music was being played inside the premises, but it was barely audible when stood directly outside the doors to the premises on both Swan Street and Brunel Road. All the doors at the premises were pulled to. There were no customers congregating outside of the premises. There was no possibility that sound levels arising from the operation of the premises at that time would have caused SNN.
08/08/2014	22:04 NTE Visit	Wesley McArthur	Adam And Eve Public House	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	8/ 8/2014 22:04 WJM Music still being played inside the premises, all doors shut.
08/08/2014	23:17 NTE Visit	Wesley McArthur	Adam And Eve Public House	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	8/ 8/2014 23:17 WJM Music still being played inside the premises, all doors shut.
08/08/2014	23:30 NTE Visit	Fabien Simms	Adam And Eve Public House	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	

12/09/2014	21:35 NTE Visit	Richard Kalu	Adam And Eve Public House	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to premises which had 2 male patrons and 2 female patrons in a group drinking at the bar. X1 bar staff was serving customers drinks. Observed a DJ playing music however the music was not that loud. The speakers however were placed against the windows of the premises and I could see how if the volume of the music was turned up and a song with high "bass" was played how there could be an issue of noise breakout from the premises. The general area around the premises was very quiet and I could see no evidence of anybody loitering around the premises or any groups of people in the immediate vicinity of the premises. Additionally there were no patrons of the premises located in the external side beer garden. I spoke to the barman in the premises who advised me that it was a quite night and that if I wanted a drink I should let him know as he was going to close up early as it was so quite.
13/09/2014	00:50 NTE Visit	Richard Kalu	Adam And Eve Public House	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Premises closed ATOV.
09/11/2014	01:44 NTE Visit	Mark Orton	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	MAD & JM. Premises closed atov, no sign of asb in immediate area.
15/11/2014	01:15 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visited the premises with Tracey McCarthy to carry out a routine inspection. Closed ATOV.
21/11/2014	21:00 NTE Visit	Mark Orton	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	MAD & RF. Stopped o/s premises. Approx. 20 patrons inside, no loud music emanating, no sign of ASB in immediate vicinity.
22/11/2014	22:20 NTE Visit	Mark Orton	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	MAD & SH. Visited premises to check on allegations of ASB reported by Ward Cllr following complaint from local resident. Entered premises, approx 10 patrons, background music only, very relaxed atmosphere. Spoke with bar staff [REDACTED] who was very interested in WSC and said will speak with DPS about it, left information with her. Premises undergoing refurb, stage area removed, no DJ's, many patrons barred due to behaviour, licensee trying to improve image of premises.

03/04/2015	22:00 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	<p>Visited the premises with Sarah Newman to observe the premises. Premises was very quite and I noted that no patrons were located at the front of the premises drinking or smoking. There were approximately 7 patrons within the premises drinking who appeared to be a mature group who all appeared to be friends. No live or amplified music at the premises. Observed Swan Road and I can confirm that there was no activity. Myself and Sarah walked the complete perimeter of the premises and surrounding street to the rear of the premises and there was no activity from patrons of the premises or general ASB issues which could give rise to resident-complaints in relation to the conduct of the premises.</p>
04/04/2015	23:20 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	<p>Visited premises with John. Premises closed however there was one member of staff within the premises sweeping up. Attempted to gain entry and was told that they had closed 30 min ago as it was so quite. Walked around perimeter of premises very quite no issues of concerning relation to ASB around surrounding roads.</p>

10/04/2015	21:52 NTE Visit	Wesley McArthur	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	<p>10/ 4/2015 21:52 WJM Observation of premises with Roy Fielding (RF) in respect of are current noise complaint. There was nobody outside the premises either on Brunel Road or Swan Road. Observing the premises from RF's car as parked on Swan Road directly opposite the premises no sound escape could be heard, even with the car windows fully wound down. We observed the premises from this location for 5 minutes. No one left the premises and no sound escape was heard. We exited the car and walked the length of the road behind the premises (Kenning Street). No noise from the pub could be heard. No people were loitering or present on Kenning Street. We then walked up Brunel Road towards the premises. When we walked past the premises' beer garden we observed 4 people in the beer garden composed of an IC1 male/female couple and 2 IC1 males. Both pairs of people were sat at tables talking to each other and drinking. They were speaking at a normal conversational level. We also observed an IC1 male in the doorway between the premises and the beer garden. As we walked past the windows of the premises on Brunel Road I looked into the premises and saw approx' 15 people in the premises (all IC1 males). Music and voices could be faintly heard when immediately outside of the premises and were well below the ambient background noise in the locale. Noise from the premises would not, IMO, constitute S/N/N or public nuisance. We went back to the car and observed the premises for 5 more minutes and noted no change in noise levels from the premises and did not see any body loitering, drinking, congregating or smoking outside of the premises.</p>
10/04/2015	23:35 NTE Visit	Wesley McArthur	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	<p>23/ 4/2015 23:35 WJM The premises was quiet. The beer garden was shut. There were no customers or any other people outside of the premises either on Brunel Road or Swan Road. No sound escape was noted from the premises.</p>

17/04/2015	23:34 NTE Visit	Wesley McArthur	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	<p>17/ 4/2015 23:24 WJM Observation of premises with Farhad Chowdhury (FC) in respect of are current noise complaint. We parked opposite the premises' entrance on Swan Road. It was a cool dry night, the locale was quiet. There was 3 IC1 males and 1 IC1 female immediately outside the entrance to the premises on Swan Road. They were talking to each other and smoking. They were speaking at a normal conversational level and could barely be heard from where we were parked (approx' 4 meters from them) with the car windows wound down. They were not engaging in ASB. There was no one loitering in Kenning Street (the street that is behind the premises). We walked the length of Kenning Street. No noise from the pub could be heard. No people were present on Kenning Street. We then walked up Brunel Road towards the premises. There was no one in the beer garden or on Brunel Road outside the premises. As we walked past the windows of the premises on Brunel Road I looked into the premises and saw approx' 12 people in the premises (all IC1 male). Music and voices could be faintly heard when immediately outside of the premises and were well below the ambient background noise in the locale. Noise from the premises would not, IMO, constitute S/N/N or public nuisance. We went back to the car and observed the premises for 5 more minutes and noted no change in noise levels from the premises and did not see any body loitering, drinking, congregating or smoking outside of the premises.</p>
08/05/2015	22:23 NTE Visit MO KD	Mark Orton	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Monitored premises and surrounding streets for noise/music breakout and also any asb close to the premises. There were approx 10 persons in the premises noted whilst driving by with windows down. No music audible from the roadside or neighbouring roads.
08/05/2015	22:33 NTE Visit MO KD	Mark Orton	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Adam & Eve approx. 10 patrons on Friday night, no noise issues, nobody outside. Immediate area quiet, no sign of asb.
10/05/2015	00:37 NTE Visit MO KD	Mark Orton	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Saturday night it was noted that there were approx. 6 patrons outside smoking and re-entering premises but not noisy at 03:37 well within operating times. Immediate area quiet, no sign of asb.

10/05/2015	00:37 NTE Visit MO KD	Mark Orton	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Monitored premises and noted 7 persons outside smoking. Some noise from persons talking was evident but not loud. No drinks outside noted atov, some music noise audible but background imo. No other persons in immediate area and no asb noted.
15/05/2015	20:35 NTE Visit	Farhad Chowdhury	Adam And Eve Public House	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	15/ 5/2015 20:35 FRC Adam & Eve (between 8pm & 10pm) and check For Kristie Ashenden All quiet outside, went inside met [REDACTED] seen Summary on Display and premises licence in the premises now. She said she has received the warning letter she has SLD and its working seen working. Also said that Manager is new signs "please leave quietly" made and CCTV will be installed Saturday morning and to return on Saturday evening to check.
15/05/2015	NTE Visit	Farhad Chowdhury	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	From: Chowdhury, Farhad Sent: Sunday, May 17, 2015 11:56 PM To: Parkins, Richard Cc: Tear, Jayne; Franklin, David; Ashenden, Kristie; Orton, Mark; Mills, Dorcas; Kalu, Richard; Swaby, David; McArthur, Wesley; Dale, Ken; Prickett, MarkSubject: FW: NTE 15th and 16th May 2015Hi Richard, Here is a brief summary of my NTE weekend with Evelyn and Clarissa, I have copied everyone who have given me a visits or complaints to do please find brief notes below. FRIDAY NIGHT...3) Adam & Eve (between 8pm & 10pm) and check the following: For Kristie Ashenden Visited both nights, the Pub had CCTV installed on Saturday and is now recording for 31days, also SLD installed and working, they had a Summary displayed. Also had new "please leave quietly signs" displayed all complied now....
16/05/2015	19:11 NTE Visit	Farhad Chowdhury	Adam And Eve Public House	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	16/ 5/2015 19:11 FRC Met [REDACTED] now has CCTV installed at the premises and seen the cameras all working and recording for 31 days. Video kept for 31 days. Now has Please leave quietly sign displayed on doors on entrances all works have been done now all complied.
22/05/2015	20:22 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to Adam & Eve, 47 Swan Road, SE16 with Sarah Newman. No amplified or acoustic music within the premises. No patrons in the external beer garden and all windows and doors were closed. We walked around Brunel Road, Swan Road, and Keening Street & Railway Avenue and noted no issues of concern.

22/05/2015	22:35 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to Adam & Eve, 47 Swan Road, SE16 with Sarah Newman. No amplified or acoustic music within the premises. No patrons in the external beer garden and all windows and doors were closed. We walked around Brunel Road, Swan Road, and Keening Street & Railway Avenue and noted no issues of concern.
23/05/2015	20:20 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Licensing visit to Adam & Eve Pub with Sarah Newman at request of Wesley McArthur. Windows and doors of the premises closed and no noise breakout from premises. X4 patrons within the premises and X2 patrons outside at the front of the premises smoking and talking. No patrons were located in the beer garden ATOV. Myself and Sarah Newman walked around the perimeter of the premises and some of the surrounding streets and noted no ASB issues which could rise to a resident complaint. (Brunel Road, Swan Road, Keening Street & Railway Avenue) all checked no ASB issues noted.
23/05/2015	23:10 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to Adam & Eve, 47 Swan Road, SE16 with Sarah Newman at request of Wesley McArthur for an evening visit to premises. X3 patrons within the premises drinking and X1 patrons at the front of the premises smoking. No amplified or acoustic music at the premises. Windows and doors were all closed. We walked around the perimeter of the premises and no issues were noted in relation to ASB which would give rise to a resident complaint. (Brunel Road, Swan Road, Keening Street & Railway Avenue) all checked no ASB issues noted.
20/06/2015	20:20 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to Adam & Eve with Justin Miller at request of Wesley McCarthy. X7 patrons located in the rear beer garden. X4 patrons located at the front of the premises. Walk around the perimeter of the premises and no ASB issues were noted. Doors and windows of premises were closed.
26/06/2015	20:51 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to premises with Adam Burchett. X 4 Patrons with the beer garden no loud raised voices or activity that could be regarded as ASB. No amplified music or people congregating in the immediate vicinity of the premises. X7 patrons within the premises drinking. No issues noted ATOV.

04/09/2015	21:19 NTE Visit	Wesley McArthur	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	<p>4/ 9/2015 21:19 WJM Observation of the premises with Tracy McCarthy re' recurrent noise complaint. We observed the premises from TMM's car parked on Swan Road with the windows wound fully down directly opposite the Swan Road entrance / exit to the premises. It was a clear, dry night. There was little background noise as traffic (vehicular and pedestrian) was very light. It was not windy or breezy. We saw 2 IC1 males of approx' 55 Y/O/A talking to each other outside the Swan Road entrance / exit. They were talking at a normal conversational level, and the level at which they were talking would not constitute S/N/N or P/N in my opinion. There was no sound escape from the premises. We observed 2 IC1 females of approx' 35 Y/O/A come out of the Swan Road entrance / exit. They started talking to each other with slightly raised voices, however it is highly unlikely that the level at which they were speaking would constitute S/N/N or P/N in my opinion. The pub was fairly busy with approx' 20 customers inside and approx' 10 people in the beer garden.</p>
11/10/2015	00:10 NTE Visit	Wesley McArthur	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	<p>11/10/2015 00:10 WJM Visit to premises with Ken Dale (KD) re' noise complaint. Premises shut ATOV. No customers congregating in the locale. No ASB or noise related to the premises witnessed.</p>
23/10/2015	18:47 NTE Visit	Farhad Chowdhury	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	<p>23/10/2015 18:47 FRC with Clarissa O'Toole. Met new manager John [redacted] also DPS, seen the price list displayed on the wall behind bar area taken a photo of it. Also seen premises licence but Mr [redacted] did not have a summary. I advised to contact licensing to obtain a copy. He said his CCTV currently has 30 days, I advised him he needs to have 31 days recordings. I advised him to display a "Please leave quietly" sign and a "Challenge 25" notice. He did have a challenge 25 notice and he put it up later.</p>

15/01/2016	21:00 NTE Visit	Wesley McArthur	Adam And Eve Public House	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	<p>15/ 1/2016 21:00 WJM Visit to the premises with Adam Burchett (AB) to conduct full inspection. I spoke to a barperson named [REDACTED] who stated that she was in charge of the premises that night. One other bar-person was on duty. Breaches of the following conditions were noted: 155 – There was no fire log book available. 159 – The fire extinguishers at the premises hadn't been inspected for over a year. The last inspection took place in April 2014. 163 – An emergency exit leading to Brunel Road was bolted shut. TM stated that this was to stop customers using it to enter the premises, I advised that if the management of the premises do not want it used as an entrance door as well then a push bar could be installed, but any doors that are identified as emergency exits then they should be kept unbolted. 182 – It wasn't possible to confirm if current test certificates have been issued in respect to the electrical installation or emergency lighting system at the premises. 289 – It wasn't possible to confirm whether the CCTV system had a 31 day recording capacity. TM didn't know how to operate the CCTV system. I told TM that if possible, she could send me a DVD with footage from 31 days prior to the date of the revisit to prove that the CCTV system has a 31 day recording capacity. I advised TM that there should always be at least one member of staff on duty who knows how to operate the CCTV system. In addition to the above the following issues were also noted: The fire action notice as required by condition 167 needs to be completed. The first aid box contained medicinal products (pain relief tablets). I advised TM that medicinal products of any kind must not be kept in the first aid box that is for customer use and that medicinal products cannot be administered to customers by the premises' staff. The doors near the men's toilets shouldn't be identified as an emergency as it leads into an area that is being constructed as a store room, instead of leading to the outside of the premises. It was not possible to verify whether a risk assessment or fire risk assessment had been devised in respect of the premises. I advised that a written letter of authorisation should be kept at the premises, and that I will send one to the licensee. Warning letter to licensee and DPS to follow.</p>
20/02/2016	1:43 NTE Visit	Farhad Chowdhury	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	<p>20/ 2/2016 1:43 FRC all closed and shut, had a call from the Police who informed us that there was no activity in Penarth Centre tonight.</p>

22/07/2016	21:30 NTE Visit	Alexander Lisowski	Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Venue visited at 21.30pm, Friday, 22/7/16. Front door of pub is a double door. One door of it was open. Through it I could hear music in the street. Spoke to the DPS. Advised of the condition on licence to have doors and windows closed when music was being played. Checked noise limiter that appeared to be switched on. 6 customers in beer garden at rear. Advised DPS that the licence required it to be closed at 22.00pm when music was being played. At time of visit there was a DJ playing recorded music. Warning letter to follow. 22/7/2016 22:54 MQ3
05/08/2016	24:00 NTE Visit	Alexander Lisowski	Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Working with John Uzodinma Okeke, Food Safety. Visited venue at midnight, Friday, 5th August, 2016. Front doors shut. No sound of music coming from the pub. 31/8/2016 18:02 MQ3
06/08/2016	10:06 NTE Visit	Alexander Lisowski	Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Working with John Uzodinma Okeke, Food Safety. Venue visited at 22.06pm on Saturday, 6th August, 2016. No sound of music coming from the venue.
13/08/2016	21:00 NTE Visit	Alexander Lisowski	Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Working with Sarah Newman, Environmental Protection Team. Venue visited at 21.00pm, 13th August, 2016. Door open but no music being played.
20/08/2016	00:28 NTE Visit	Richard Kalu	Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to premises with Ken Andrews. X6 patrons came out the premises as we arrived at the premises and were smoking and drinking outside the premises. Windows and doors of the premises were closed however when the doors were opened intermittently by patrons entering and leaving the premises you could hear bass music coming from within the premises. Observed the premises and it appeared there is poor acoustic sound proving of the premises and single pane glass at the frontage of the premises that is contributing to sound escape of the premises. Patrons of the premises were just talking no shouting or activity likely to give rise to complaints of ASB. Before we left premises front beer garden unoccupied and no activity at rear of premises. We walked around to the rear of the premises on the estate and noted that there was no activity.

27/08/2016	20:40 NTE Visit	Alexander Lisowski	Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Working with Matt Bourne, Trading Standards. Venue visited at 20.40pm on Saturday, 27th August, 2016. One of the front doors was open but only a faint sound of music from inside. Appeared to be background music. 1/9/2016 9:25 MQ3
28/08/2016	00:05 NTE Visit	Alexander Lisowski	Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Working with Matt Bourne, Trading Standards. Venue visited at 00.05am, Sunday, 28TH AUGUST, 2016. Front doors closed. Faint sound of music coming from the pub. 1/9/2016 9:27 MQ3
09/09/2016	22:40 NTE Visit	Richard Kalu	Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit with Ken Andrews. Compliance check following resident complaints about loud music emanating from the premises. When we arrived at the premises there was X2 patrons stood at the side of the premises smoking. All windows and doors were closed. I note that while we were observing a male opened the side entrance door of the premises and loud bass music was transmitted from the premises. The door was closed and the sound disappeared and then when opened again by this same male the noise heavy bass music was transmitted. The premise was very busy and it appeared that patrons within the premises were quite highly intoxicated. Myself and Ken Andrews took the decision not to enter the premises but to observe. We feel that if we entered the premises this could possibly lead to a confrontation situation not with management of the premises but patrons within the premises. The premises appears to have single pane windows and do not appear to have any measures in place to reduce the transmission of sound of the premises. I noted that the speakers were facing the windows and very close to an entrance door so very time this door was opened sound would-be transmitted into the wider community. Additionally we undertook observations to the rear of the premises and I noted that there was no activity likely to give rise to complaints of ASB. Action – Daytime visit to premises to complete full licensing inspection / induction and discuss complaint.
10/09/2016	02:23 NTE Visit	Richard Kalu	Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Compliance check with Ken Andrews. Premises closed ATOV. Rear of premises checked and no activity.

10/09/2016	20:58 NTE Visit	Farhad Chowdhury	Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	10/ 9/2016 20:58 FRC all quiet outside, no activity premises was open can see disco lights on. NO noise or music audible.
23/09/2016	23:45 NTE Visit	Richard Kalu	Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Compliance check with Adam Burchett. X9 patrons within the premises drinking. X2 patrons outside the front of the premises smoking. No amplified music emanating from the premises ATOV all windows and doors closed. Scheduled for further visit later in night with NTE Police.
24/09/2016	02:53 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	

24/09/2016	20:10 NTE Visit	Farhad Chowdhury	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	<p>24/ 9/2016 FRC Brunel PH, 47 Swan Road SE16 4JN – 20:10hrs – Met Manager [REDACTED] the music was blaring out loud as we entered there were 9 people inside the venue and 6 people standing outside in the frontage drinking and smoking. Doors to beer garden was Also open and DJ was playing live music. I asked to see the CCTV, Mr [REDACTED] showed us his new system installed and he said that he only has 9 days of footage as the previous hard drive was removed and he has new drive so he does not have footage for 31Days, He could not operate the system. He said he will now keep 31days of recordings of CCTV, I asked if the music was plugged in through the Sound Level Meter, he said it was like how it was the previous owner had it. He said it was set by previous owner I had suspicions it was not being used I asked to see it, I took a photograph of the Sound Level Meter all the lights were on, and it was not cutting out. I advised Mr [REDACTED] to contact the EPT team to set the Sound Level Meter to the correct level as I considered it to be not working properly or not set correctly. They appear to have bypassed the system somehow which is why the music was very loud, I walked to the front of the premises via the beer garden where the music was very loud. He had the Summary displayed and seen a copy of his premises licence. I advised Mr [REDACTED] to read his licence conditions and ensure he abides by it as we have had complaints he is opened past his hours. I advised that the beer garden will not be used after 22:00 hrs, if entertainment is provided which is condition 315 on his licence. Also reminded of condition 840 that no person shall drink outside after 23:00hrs we then left.</p>
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30/09/2016	21:26 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to premises with Adam Burtchet. X2 males stood at the side of the premises smoking. Amplified music could be heard from outside however all windows and doors of the premises were closed. It would appear that the premises has poor sound proofing hence why sound was escaping from the premises. When the side entrance door was opened to allow for 1 further male patron to leave and join the two patrons stood outside smoking the sound escape increased. This was followed up again when the patrons returned back into the premises. We drove around the immediate area of the premises and did not witness any activity likely to give rise to complaints about ASB. Action: Licensing induction to be arranged with premises licence holder / management of premises.
01/10/2016	01:00 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to premises with Adam Burtchet. X4 patrons located at the front of the premises. Music had been turned down however there was amplified music being played at the premises. All windows and doors of the premises were closed and no patrons were located in the beer garden. We drove around the immediate perimeter of the premises and at the back of the premises where residential properties are based. No ASB behaviour was witnessed taking place ATOV.
02/10/2016	00:00 NTE Visit	Farhad Chowdhury	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	2/10/2016 00:01 FRC No music all quiet outside, seen 4 people outside pub smoking on swan road.

07/10/2016	22:25 NTE Visit	Natasha O'Donogue	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Carried out a visit to the premises with Farhad Chowdhury. The NTE Police team were advised and they were attending there as well to carryout drug swabs in the pub toilets. On arrival we saw that there were x5 people standing outside the premises smoking. The music could be heard outside the pub. There was a DJ on. We saw and spoke with the DPS A [REDACTED]. Advised him that the music was very loud and could be heard outside of the premises, he said that a sound limiter had been installed by an engineer - he didn't have a copy of the installation or any details at the time -the limiter needs to be set so that it cuts the loud music, soundproofing appears to be an issue in the pub, We did mention that he can get Acoustic curtains which will go some way to ensure the noise that escapes is reduced, he will look at those. Mr S [REDACTED] said the DJ plays at the pub on Fridays only - there is nothing going on there on Saturdays. It was reiterated to Mr [REDACTED] that he needs to ensure that the music is not heard outside of the premises. There were no ASB issues noted at time of visit.
08/10/2016	01:04 NTE Visit	Natasha O'Donogue	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Carried out a further check to the premises with Farhad Chowdhury. There were no patrons outside of the premises, music couldn't be heard.
08/10/2016	19:12 NTE Visit	Farhad Chowdhury	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	8/10/2016 19:12 FRC music audible outside few people outside.
08/10/2016	23:00 NTE Visit	Farhad Chowdhury	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	8/10/2016 23:00 FRC completely quiet nobody outside looks empty inside the premises music was off.
14/10/2016	22:00 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Compliance check at the premises with Farhad Chowdhury. X2 males stood at the side of the premises smoking. No amplified music could audible from the premises. X 3 patrons located within the premises drinking.
15/10/2016	22:55 NTE Visit	Farhad Chowdhury	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	15/10/2016 22:55 FRC very busy inside but quiet outside no music audible.

29/10/2016	01:45 NTE Visit	Alexander Lisowski	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Drove past venue with Adam Burchett (Markets) at 01.45am, Saturday, 29th October, 2016. No music being played. 2 people sat outside, on doorstep of front door, smoking. Neither had a drink with them. 16/11/2016 11:32 MQ3
05/11/2016	23:45 NTE Visit	Farhad Chowdhury	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	5/11/2016 23:45 FRC open nobody outside no music audible from outside.
11/11/2016	23:00 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to premises with Evelyn Mafunga. X5 males stood outside the premises smoking and drinking. The patrons appeared to be football fans and there was a large crowd of male patrons within the premises. From our vantage point across the road from the premises we could see strobe lights within the premises however music was not audible from outside the premises. X5 males entered back into the premises and the side entrance/exit door opened however no music was audible from outside the premises. Action: Schedule a day time visit to premises to complete a licensing induction and discuss resident complaints.
12/11/2016	22:30 NTE Visit	Natasha O'Donogue	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Premises check with Roy F, as been complaints about the pub re noise - loud music, nuisance. On arrival couldn't hear any music, there were 4 people smoking outside the premises.
18/11/2016	20:20 NTE Visit MAD & FRC	Mark Orton	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visited premises following request from RAC to carry out induction with DPS. Spoke with bar manager who informed me the DPS wasn't available till later. Approx 20 patrons inside atov, also DJ in operation playing LAM. We left to return later in the evening.
19/11/2016	01:54 NTE Visit MAD & FRC	Mark Orton	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Returned to premises to carry out induction with DPS but premises closed and quiet.
19/11/2016	18:39 NTE Visit	Farhad Chowdhury	Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	19/11/2016 18:39 FR Call quiet outside no music audible raining atov.
19/11/2016	23:55 NTE Visit	Farhad Chowdhury	Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	19/11/2016 23:55 FRC opem but very quiet nobody outside raining heavy, no music audible.

25/11/2016	18:30 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to premises with Farhad Chowdhury. No patrons located outside premises ATOV. No music audible from the front or side of premises. Music played within the premises was at background level. Drive around the immediate vicinity of the premises however no ASB activity witnessed. As we were leaving X6 patrons arrived at the premises. X3 males began smoking at the side of the premises and X1 male on a moped arrived and was revving the bike engine. A staff member was witnessed come out the premises to ask the individual to stop doing this as it would upset the neighbours.
23/12/2016	22:53 NTE Visit	Farhad Chowdhury	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	23/12/2017 22:53 FRC Open approximately 10 people standing outside and one customer with a dog all were smoking outside. No music audible from outside the premises we observed and then left.
28/01/2017	01:00 NTE Visit	Richard Kalu	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to premises with Matt Bourne. X1 patrons stood outside the front of the premises smoking. X3 patrons within the premises drinking. Drive around the immediate vicinity of the premises no ASB activity taking place.
22/06/2019	00:01 NTE Visit	Charlie Jerrom	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Visit to the premises with Farhad Chowdhury, Keith Dempster & Tim Andrews. We parked across the road opposite the premises as we got out the car the music was audible and to loud. We approached the pub with me and Keith Dempster entering and Farhad and Tim stayed outside. We located the duty manager and went outside to have a discussion about events that are taking place on a Sunday and alleged incidents. Whilst we were stood talking we witnessed 2 breaches, new admittance after 23:00 a couple entered after midnight and doors were left open after the correct stated times also a breach. We reminded the manager, that the conditions on the licence need to be complied with. Action: Append on CMU
27/07/2019	00:10 - 00:330 NTE Visit	Andrew Heron	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4JN	Observations done on premises. Multiple patrons outside on the pavement with glasses with drinks. Some smoking, most not. No attempt to control them. One customer on the other side had a drink on their car roof. Charlie took footage - will retrieve from Tracey.

date	refno	type	catg	unit	pname	paddress
22/02/2017	849824	SER Service Request	L71 Public safety	LIC Southwark Licensing	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4J
08/10/2018	888439	SER Service Request	L72 Public nuisance	LIC Southwark Licensing	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4J
19/02/2019	895712	SER Service Request	L73 Unlicensed Premises / activity	LIC Southwark Licensing	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4J
27/03/2019	897593	SER Service Request	L70 Lic General Enquiry	LIC Southwark Licensing	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4J
21/06/2019	903607	SER Service Request	L70 Lic General Enquiry	LIC Southwark Licensing	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4J
15/07/2019	905306	SER Service Request	L72 Public nuisance	LIC Southwark Licensing	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4J
15/07/2019	905319	SER Service Request	L72 Public nuisance	LIC Southwark Licensing	The Brunel	Adam And Eve Public House, 47 Swan Road, London, SE16 4J



22nd August 2019.

Dear Sir/Madam,

Re: The Brunel Public House, 47 Swan Road, Rotherhithe, London SE16 4JN.

Review of licence.

We wish to make a representation regarding the review of the licence of the above premises.

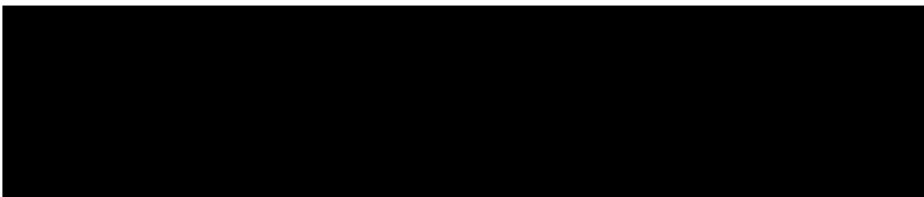
We reside [REDACTED] to these premises and suffer a lot of noise and disturbance at times.

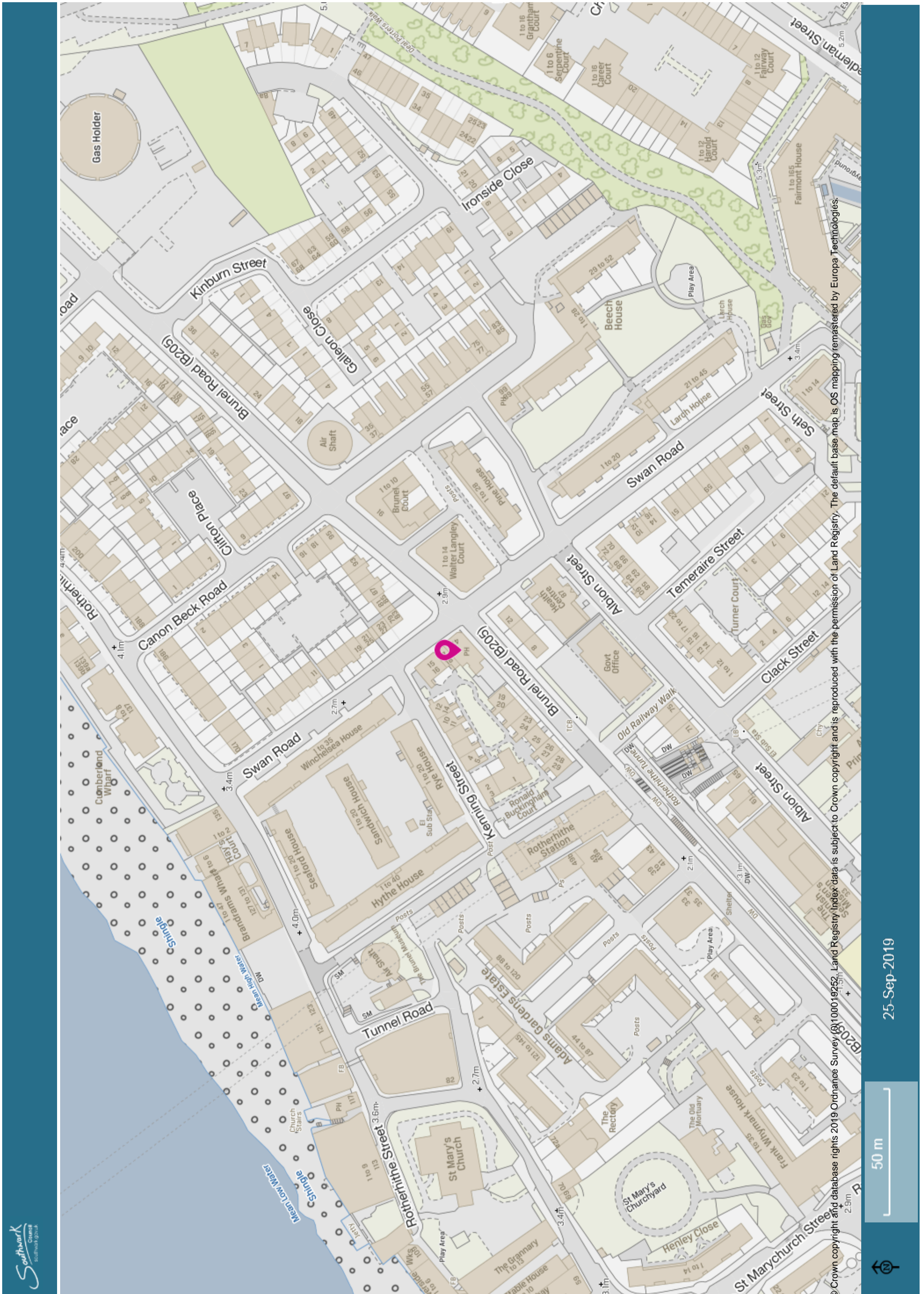
The music from their karaoke nights is very audible in our flat and since June 2019 they also hold a cabaret/drag event on Sunday nights. This is also very noisy at times.

We would like to point out to you that [REDACTED] is a sheltered housing complex and that no consideration appears to be given to this fact. We came here to live for peace and quiet in our latter years.

We will await your comments.

Yours faithfully,





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25-Sep-2019

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